



DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022

DA ISSUE

1 WARATAH AVENUE & 50 FROST STREET, ORANGE NSW

(LOT 5 & 6 in DP 36132)

GENERAL HOUSING





000673529001 Nov 2021

Assessor Dean Gorman

Accreditation No. DMN13/1645

Address

1 Waratah 50 Frost St

Orange , NSW , 2800



hstar.com.au

DRAWING SCHEDULE:

ARCHITECTURAL

- COVER SHEET
- BLOCK ANALYSIS PLAN
- SITE ANALYSIS PLAN
- DEMOLITION PLAN
- DEVELOPMENT DATA
- SITE PLAN
- GROUND FLOOR PLAN
- FIRST FLOOR PLAN
- ROOF PLAN
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS- STREET VIEW
- SECTIONS
- SOLAR ACCESS - VIEW FROM SUN
- SOLAR ACCESS - VIEW FROM SUN
- SHADOW DIAGRAMS
- PERSPECTIVES

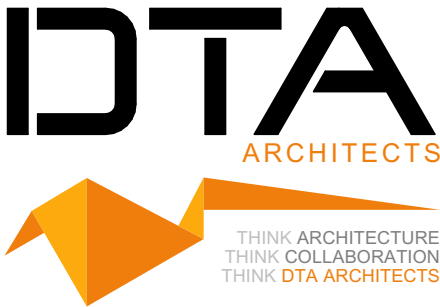
Type	Sheet No.	Rev
A	01 of 17	B
A	02 of 17	B
A	03 of 17	B
A	04 of 17	B
A	05 of 17	B
A	06 of 17	B
A	07 of 17	B
A	08 of 17	B
A	09 of 17	B
A	10 of 17	B
A	11 of 17	B
A	12 of 17	B
A	13 of 17	B
A	14 of 17	B
A	15 of 17	B
A	16 of 17	B
A	17 of 17	B

LOCATION PLAN:



LOCKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 9354 1880

www.dpie.nsw.gov.au



ARCHITECT
D T A Architects
PH (02) 9601 1011

PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 9354 1880

DATE:
24/02/2022

DESIGN:
DA

PROJECT No:
BGXUP

NOMINATED ARCHITECTS:
Daniel Donai
NSW ARB No.9068


0 5 10 20 40MM

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LEGEND: BLOCK PLAN

PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING

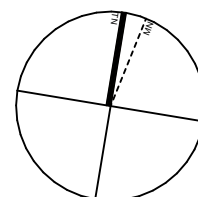
BOUNDARY LINE TO LOTS OWNED BY OTHERS

NOTE:
MOSTLY TYPICAL RECTANGULAR LOTS WITH VARIED LOT SIZES IN THE VICINITY OF THE NEW DEVELOPMENT. LOTS BECOME IRREGULAR TOWARDS BLOCK ENDS.

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12/8/2022



EXISTING CHURCH



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



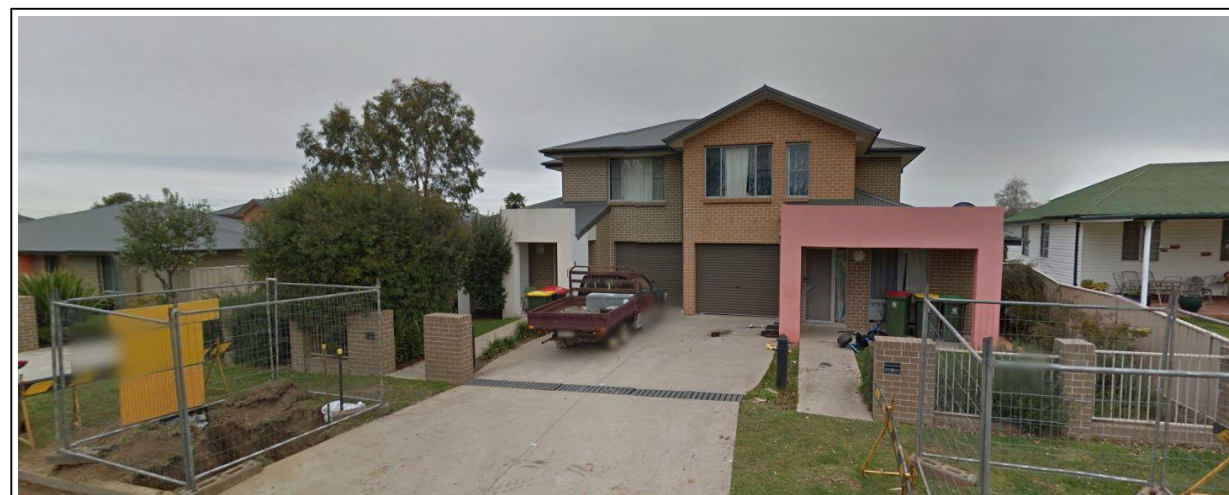
PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING



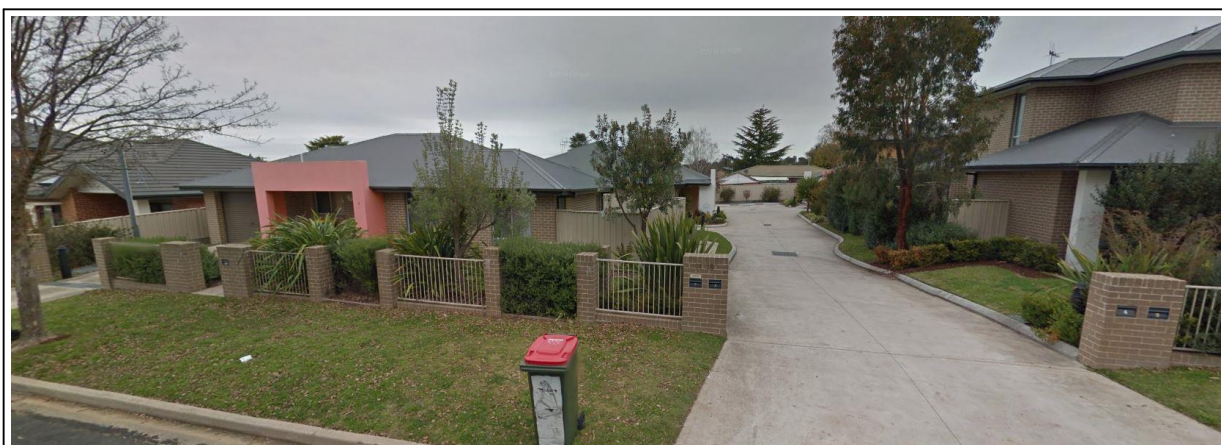
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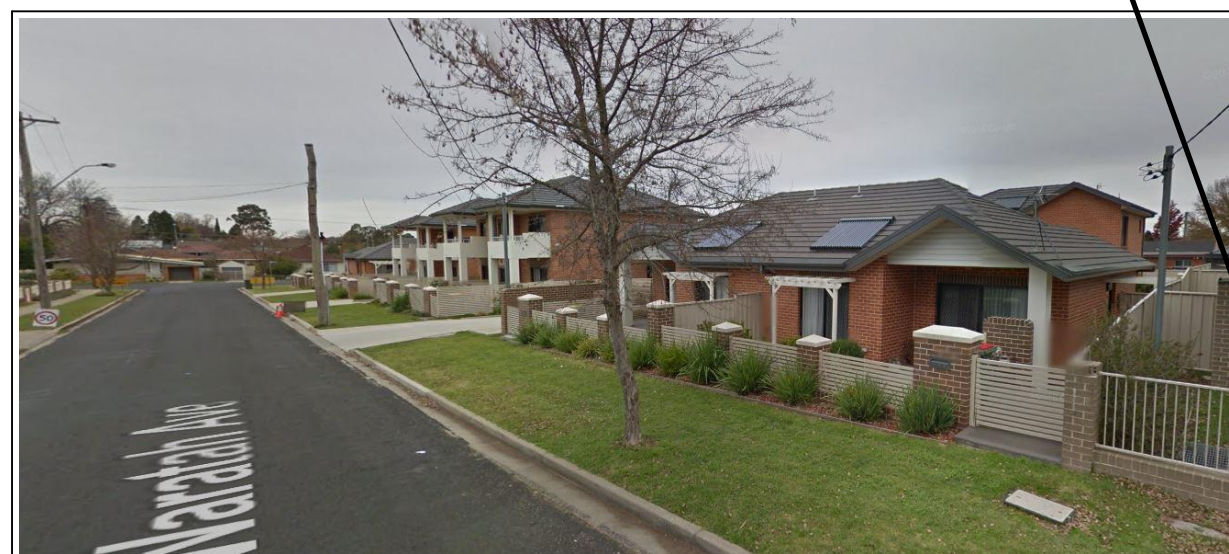
EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 & 2 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 & 2 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 & 2 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



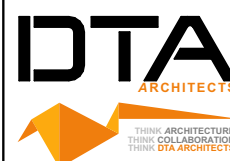
TYPICAL LOT DEVELOPMENT



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No. 9068



REV	DATE	NOTATION/REMARK
B	1/02/2022	REVISED TO COUNCIL COMMENTS
A	16/11/2021	ISSUED FOR DA
REV	DATE	NOTATION/REMARK
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Planning, Industry &
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Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

PROJECT:
GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST STREET, ORANGE NSW

TITLE:
BLOCK ANALYSIS PLAN

FILE: CAD File: Z:\SharedData\3021
3021_009_LAHC Waratah St Orange\3.Design
13.2 DA\2021_009_LAHC Waratah St
Orange.DWG

PLOTTED: 24/02/2022
9:21 AM

DEVELOPMENT ASSESSMENT			
DATE 24/02/2022	SCALE As shown @ A1	PROJ BGXUP	JOB 2021.009
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 2 of 17	REV B	

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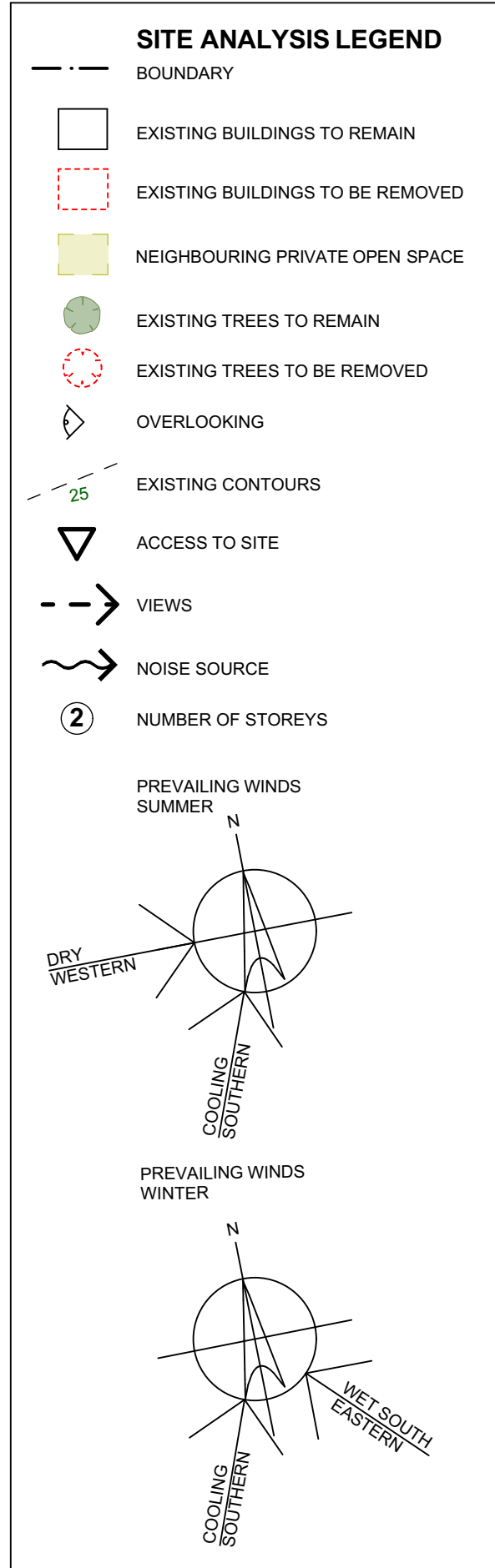
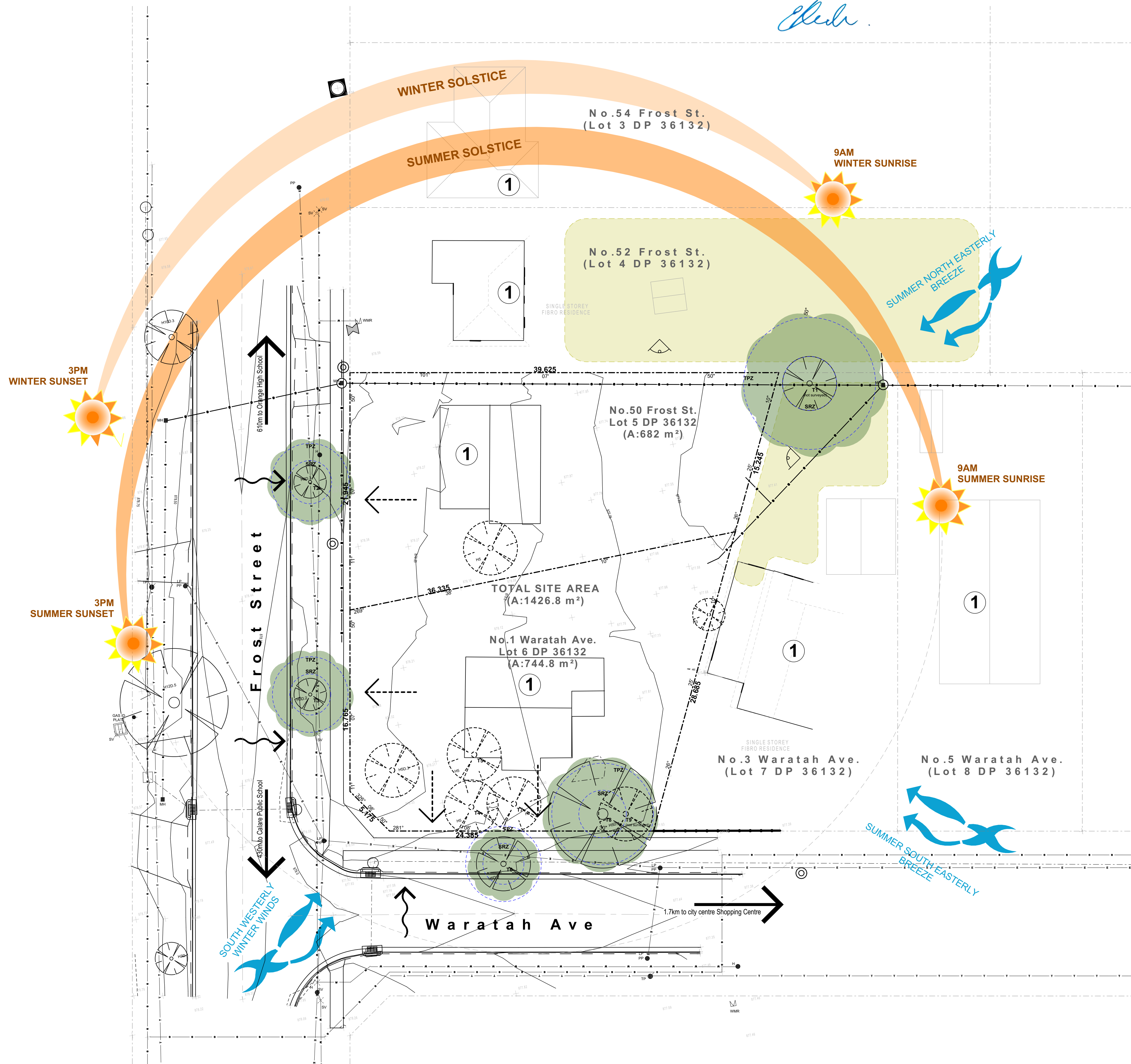
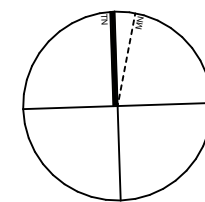
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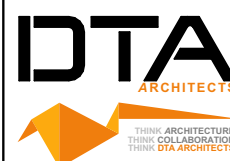
SITE ANALYSIS PLAN
1:200



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STREET, ORANGE NSW

TITLE:
SITE ANALYSIS PLAN

FILE: CAD File: Z:\SharedData\3\2021
2021\009 LAHC Waratah St Orange\3.Design
13.2 DA\2021.009 LAHC Waratah St
Orange.DWG3.pht

PLOTTED: 24/02/2022
9:21 AM

STAGE	TYPE	SHEET	REV
C	SD	DD	DD
A	3 of 17	B	

STATUS: DEVELOPMENT ASSESSMENT

DATE: 24/02/2022 SCALE: As shown @ A1 PROJ: BGXUP JOB: 2021.009

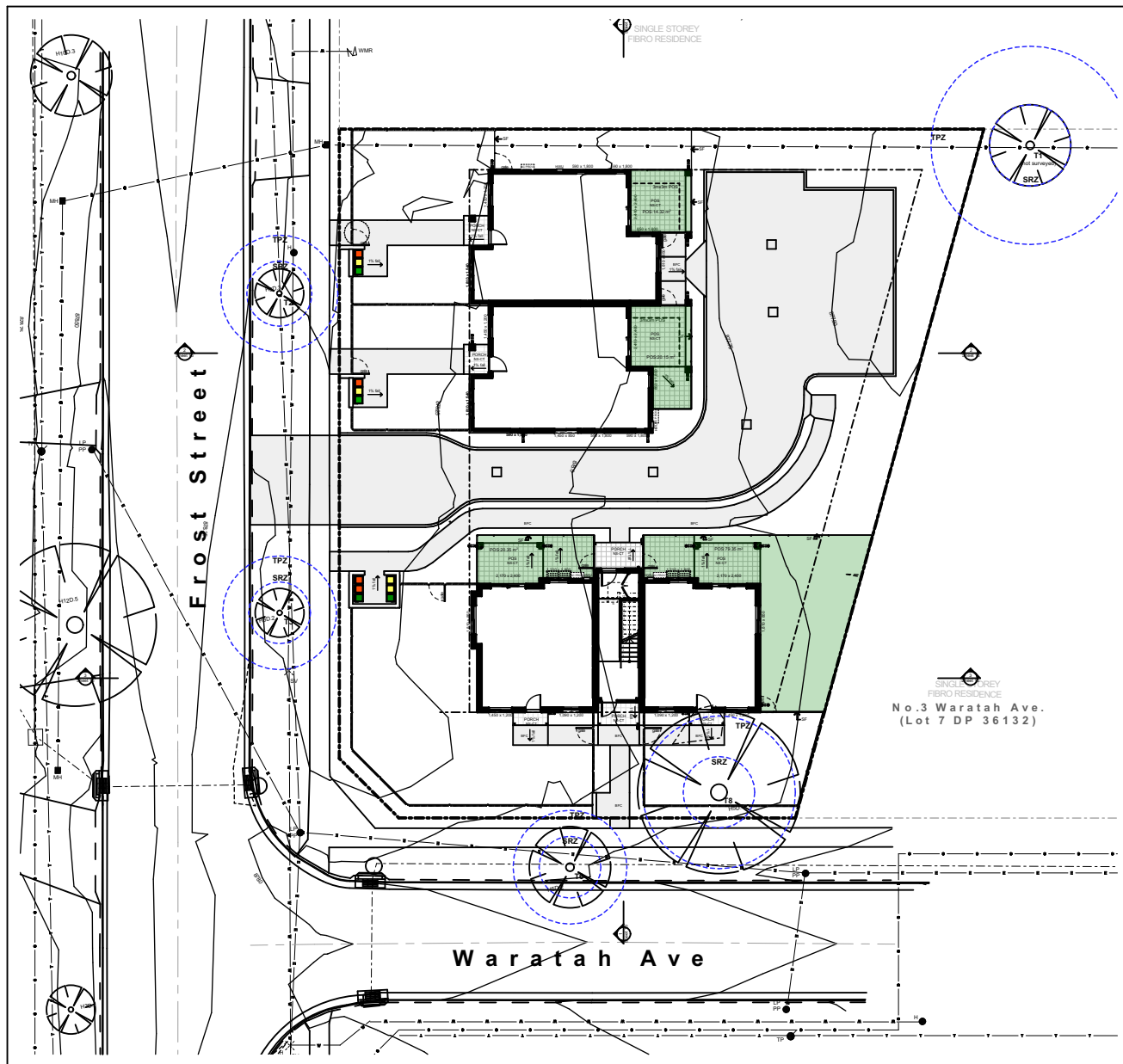
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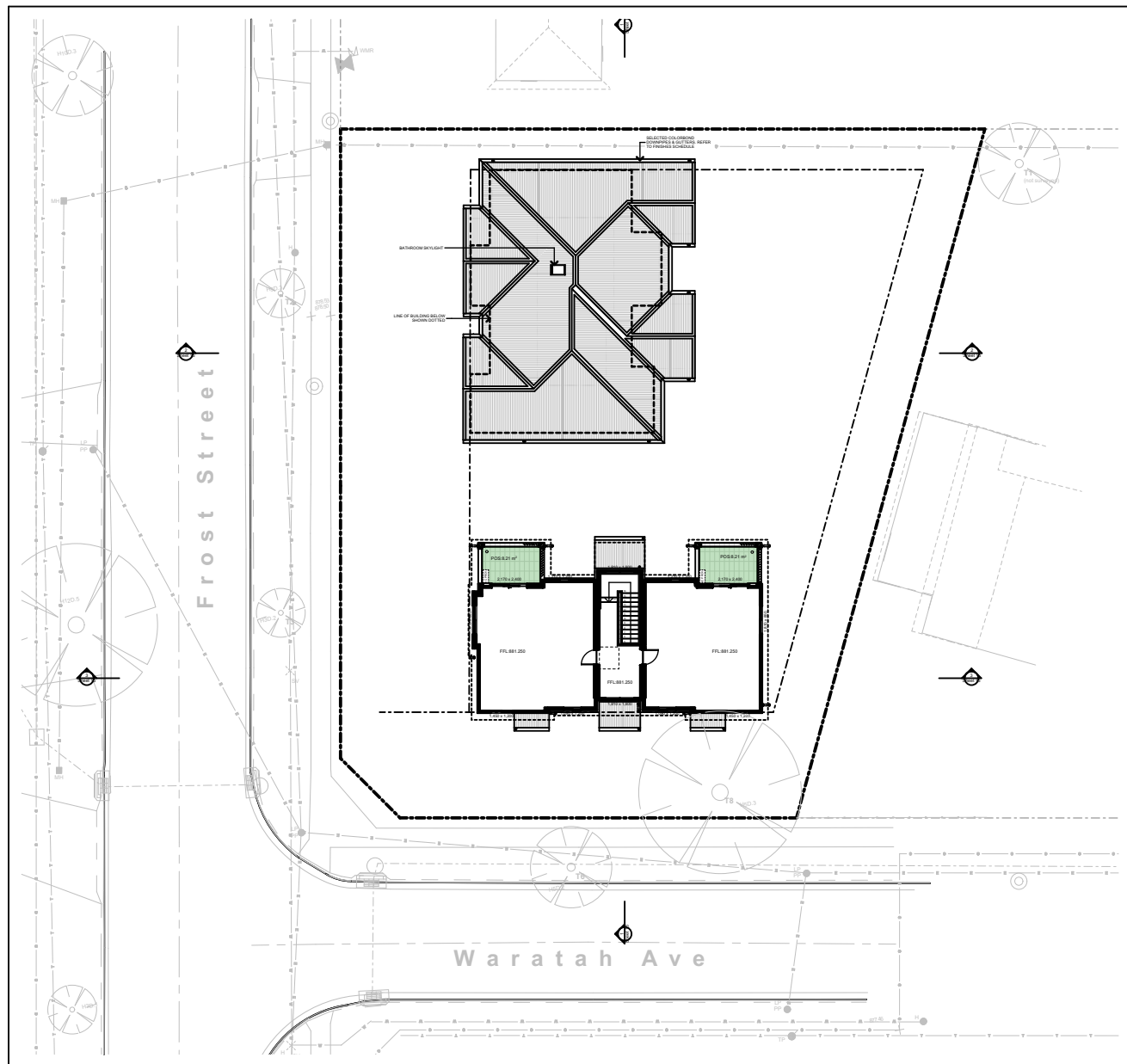
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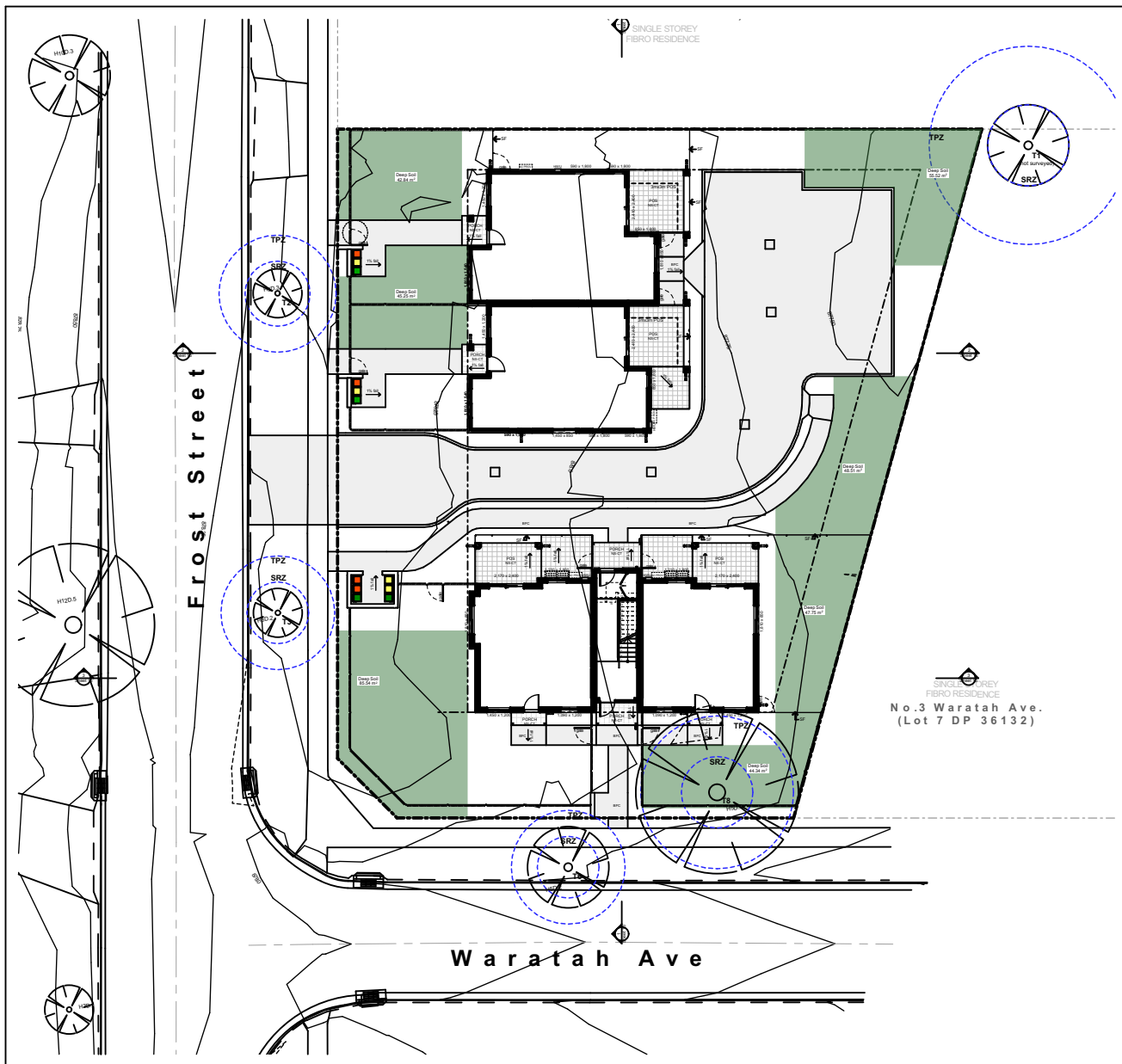
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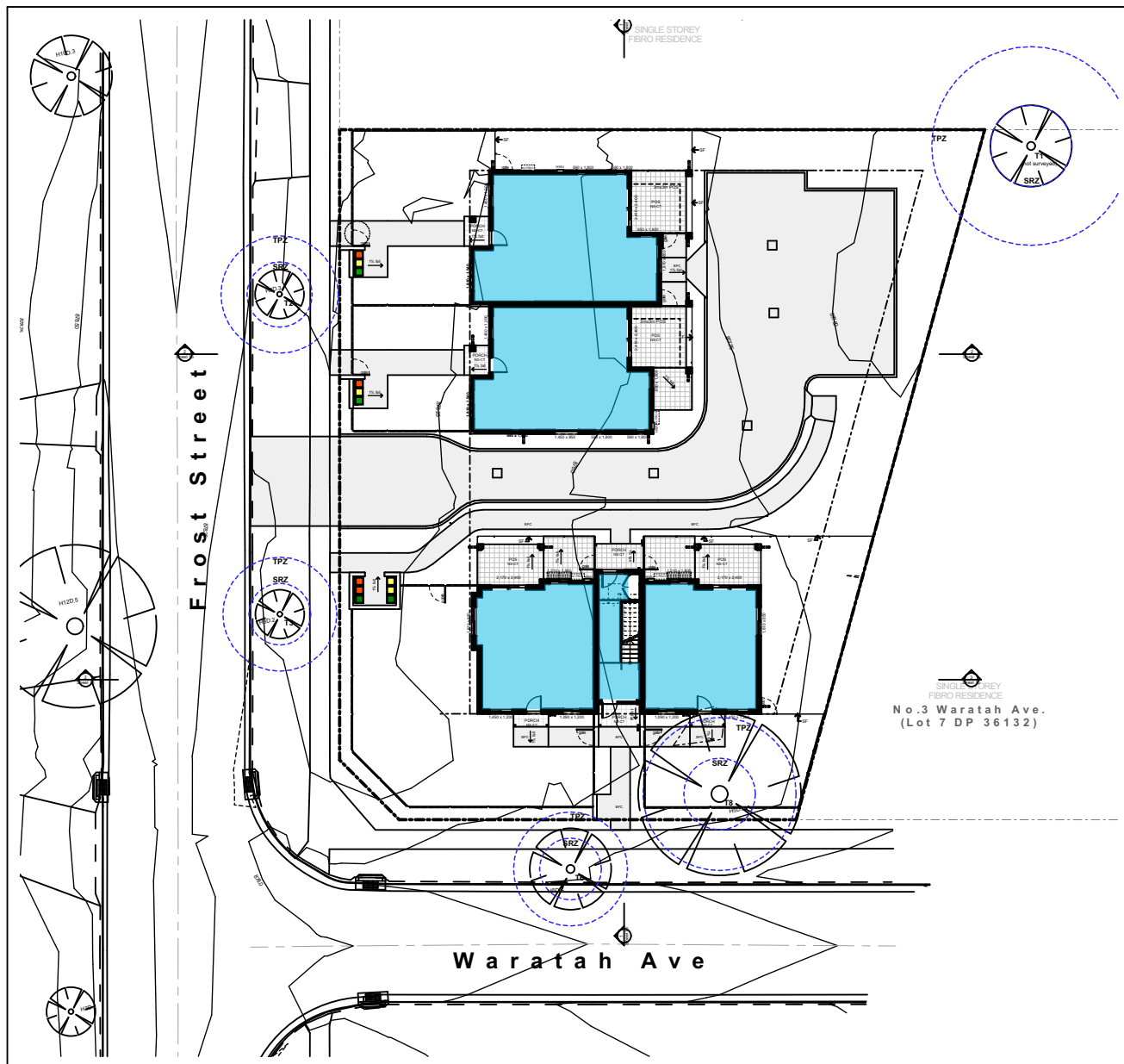
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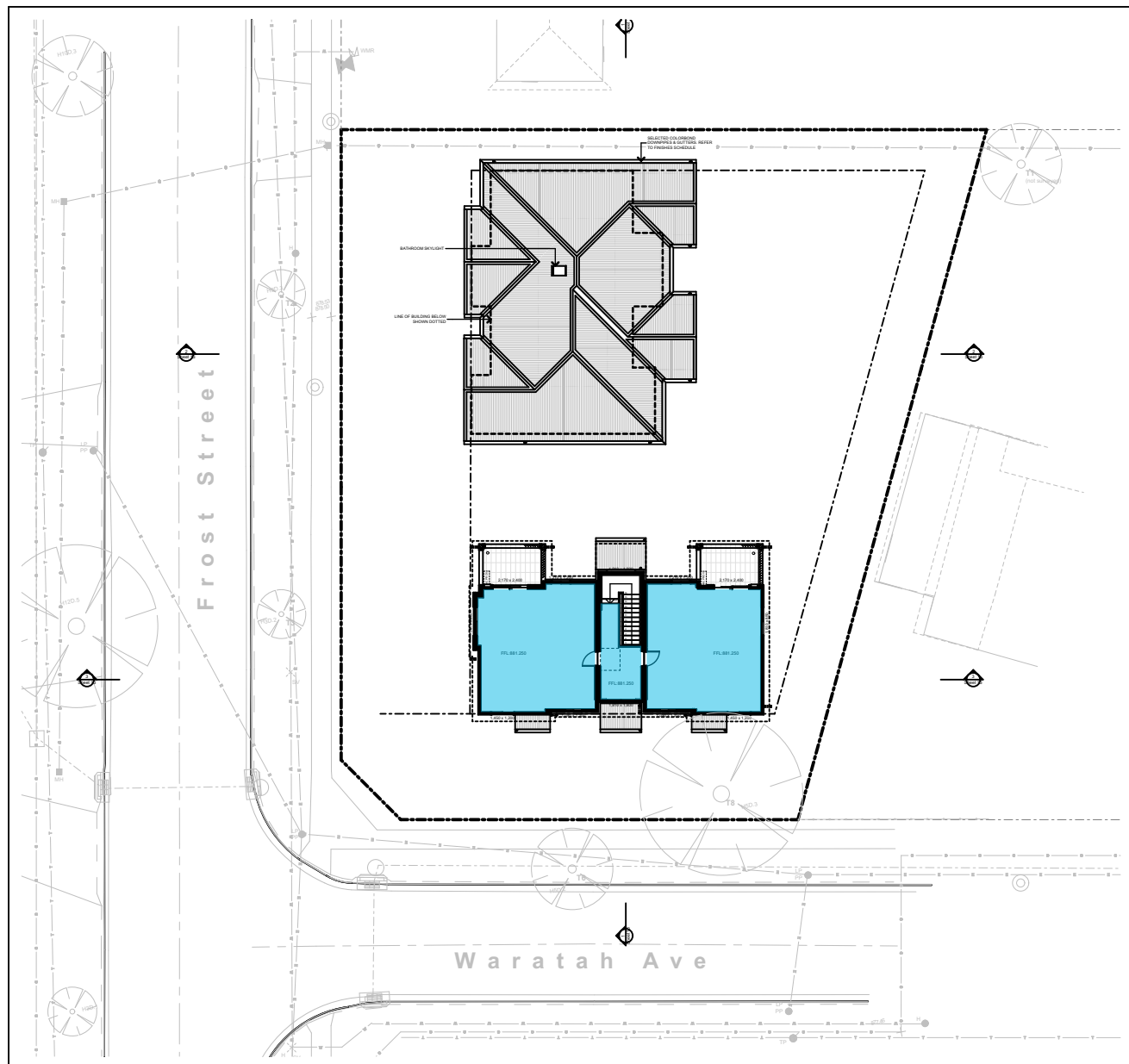
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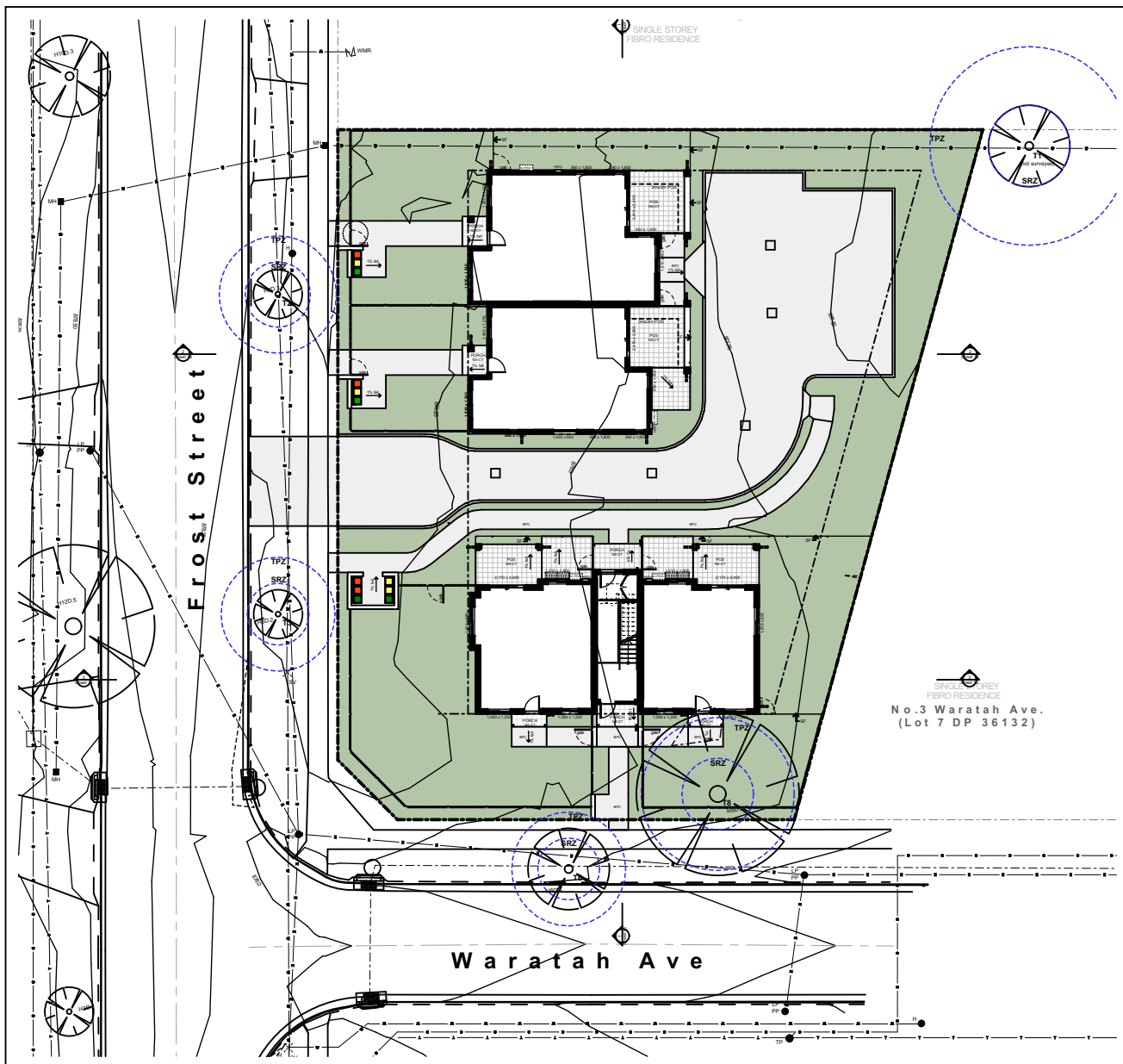
3 DATA - DSZ 1:400



4 DATA - GF - LEP - FSR 1:400



5 DATA - FF - LEP - FSR 1:400



6 DATA - Landscape 1:400

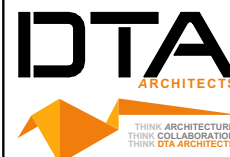
DEVELOPMENT DATA – General Housing						
Job Reference	BGXUP					
Locality / Suburb	Orange					
Street Address	1 Waratah & 50 Frost St, Orange NSW 2800					
Lot Number(s) & Deposited Plan	Lots 5 & 6 IN DP 36132					
SITE AREA (sqm)	1426.8 m2					
NUMBER OF EXISTING LOTS	2					
PROPOSED GFA* (sqm)	Orange LEP (m2)			382.1 m ²		
NUMBER OF DWELLINGS	6 (2 x 2 bedrooms, 4 x 1 bedrooms)					
DWELLINGS	Number	Type*	No of Bedrooms		Area*(m ²)	POS*
	1	Ground	2	General - Adaptable	74.93	14.32
	2	Ground	2	General - Livable	70.32	20.15
	3	Ground	1	General - Livable	52.22	20.35
	4	Ground	1	General - Livable	51.19	79.35
	5	First	1	General - Livable	53.98	8.21
	6	First	1	General - Livable	53.41	8.21
	Control		Requirement			Proposed
BUILDING HEIGHT	ARH SEPP		8.5m		7.6m	
PARKING	ARH SEPP	Non-Accessible	(no. 1 beds) x 0.5 = 4 x 0.5 = 2		4 spaces	
			(no. 2 beds) x 1 = 2 x 1 = 2			
FSR	Orange Council - LEP		-		0.27:1	
SETBACK(s)	Orange Council - DCP	Front Setback	Consistent with adjoining setback 7.58 m			8 m
		Secondary Setback	2 m			6.5m
		Side / Rear Setback	Min. 900mm setback to walls. Contained within height plane - 45deg, commencing 2.5m above existing ground level at site boundary.			2.5m / 3.8 m
DEEP SOIL - min 15% Site area	SLUDG (ARH SEPP as guide)		15% (Min 214.02m2) 2/3 deep soil at rear (142.68m2)		Complies (347.24 m ² Total) (151.78 m ² at rear)	
LANDSCAPING	SLUDG		30% of site area = 428.04m ²		Complies (637.08 m2)	
SOLAR ORIENTATION	ARH SEPP (ARH SEPP as guide)		70% of dwellings have 3 hours of sunlight between 9am and 3pm in mid-winter		Complies (83%) POS 83% (5/6 units) Living rooms 83% (5/6 units)	
LAHC*– development data for LAHC new housing supply. For details refer to Current version of LAHC Design Requirements.						
GFA* – gross floor area calculated as per relevant Planning Instrument						
Orange LEP: Sum of the floor area of each floor of a building measured from the internal face of external walls						
AREA* – Dwelling floor area includes internal walls but excludes external walls						
POS* – Private open space						
Type* - E.g. Universal/non-universal						
Solar Orientation* - % with min 3hours of direct sunlight into living areas and private open space						



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STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
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STATUS: DEVELOPMENT ASSESSMENT

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STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
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5 of 17

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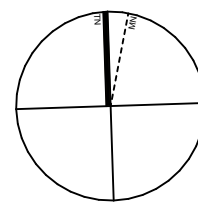
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12/8/2022

Chloe



PLANT SCHEDULE

REFER TO LANDSCAPE PLAN

Code	Latin Name (Common Name - Mature Height)
Trees	
E	Elaeocarpus reticulatus (Blue berry ash - 8m)
F	Fraxinus griffithii (Evergreen ash - 5m)
M	Pyrus calleryana 'Chanticleer' (Callery Pear - 10m)
L	Lagerstroemia indica 'Natchez' (Crape myrtle - 5m)
P	Podocarpus neriifolia (Chinese podocarpus - 10m)
Shrubs	
Bd	Bursaeae sempervirens subulifolia (Dwarf Box - 1m)
Bx	Bursaeae microphylla 'Lapponica' (Box - 1m)
Cs	Camellia sasanqua (Sasanqua - 3m)
Cbj	Callistemon 'Better John' (Dwarf Bottlebrush - 1m)
Cci	Casuarina 'Cousin it' (Prostrate casuarina - 0.3m)
Cma	Callistemon 'Macarthur' (Bottlebrush - 1.8m)
Cwa	Callistemon 'White Anzac' (White Bottlebrush - 1.5m)
Gps	Grevillea 'Peaches & Cream' (Grevillea - 1.5m)
Gry	Grevillea Rhytidocarpa (Deua Grevillea - 1.5m)
Gd	Gardenia augusta 'Florida' (gardenia - 1.2m)
Hyl	Hymenocallis 'Lushious' (Native frangipani - 0.5m)
Lc	Leptospermum 'Cardwell' (Dwarf Tea Tree - 2m)
Mbg	Melaleuca bracteata revoluta green (Braclet myrtle - 3m)
Mt	Melaleuca thymifolia (Rock Myrtle - 1m)
Md	Melaleuca 'Crest Top' (Pinebark - 1.2m)
Ngs	Nandina 'Gulf Stream' (Nandina - 0.4m)
Prr	Photinia 'Red Robin' (Photinia - 2.5m)
Px	Philodendron xanadu (Dwarf philodendron - 0.5m)
Rsm	Raphiolepis 'Snow maidens' (Indian Hawthorne - 0.75m)
Rip	Raphiolepis 'Oriental Pearl' (Dwarf Indian Hawthorne - 1m)
Sie	Syzygium australe 'Resilience' (Lilly Pilly - 3m)
Wwj	Westringia 'Wynstieble gem' (Coastal rosemary - 2m)
Groundcovers	
Cm	Chevea miniata (Kaffir Lilly - 0.5m)
Hs	Hibiscus scandens (Guinea flower - climber)
Lig	Liriodendron 'Evergreen Giant' (Giant Linco - 0.5m)
Lt	Lomandra longifolia 'Tanika' (Fine leaf dwarf lomandra - 0.6m)
My	Myoporum parvifolium (Creeping Boobiala - 0.2m)
Tj	Trachelospermum jasminoides (Star jasmine - 0.3m)

LEGEND

AB	ARMCO BARRIER
ABH	ARMCO BARRIER WITH HANDRAIL
ANG	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
ANG-1	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
B	STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
B-1	VANITY BASIN
B-2	WALL HUNG BASIN - DISABLE COMPLIANT
B-3	WALL HUNG BASIN
BC	BATTERY CHARGE
BF	BACK FLASHING
BFC	BROOM FINISHED CONCRETE
BS	BATTEN PRIVACY SCREEN
C	CARPET AS SPECIFIED
CAP	CEILING ACCESS PANEL
CF	1.8M HIGH COLORBOND FENCE
CH	CLOTHES LINE
CR	CLOTHES HOOK
CS	CEMENT RENDERED FINISH
CS	CLEANERS SHELF
CT	CERAMIC TILES
C/W	COMPLETE WITH
DB	ELECTRICAL DISTRIBUTION BOARD
DP	DOWNPIPE - COLORBOND
DPS	DOWNPIPE & SPREADER - COLORBOND
DT	DOOR THRESHOLD REFER TO DETAIL
DW	DISHWASHER AS SPEC.
EAC	EXPOSED AGGREGATE CONCRETE
ELECT	ELECT. DISTRIBUTION BOARD
EF	REFER TO ELECT. DOCUMENTS
EF	EXHAUST FAN
EG	EAVES GUTTER
EW	EYE WASH
F	FRODGE AS SPEC.
FG	FIXED GLASS
FHR	FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
FM	FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
FW	RECESSED FLOOR MAT
FW	FLOOR WASTE
GD	GRADED DRAIN
GPO-S	SINGLE GENERAL PURPOSE OUTLET
GPO-D	DOUBLE GENERAL PURPOSE OUTLET
GRAB	GRAB BAR
GR	GRAB BAR
HD	HAND DRYER
HTH	HEATED THRESHOLD
HWU	HOT WATER UNIT
HYD	HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
LC	LAMINATED BENCH TOP & CUPBOARDS
LK	LOCKERS
M1	MIRROR
MF-1	1M HIGH METAL FENCE
MSB	ELECTRICAL MAIN SWITCH BOARD
MW	MICROWAVE OVEN AS SPEC.
NS-CT	NON-SLIP CERAMIC TILE
OF	OVERFLOW
PB	PLASTERBOARD LINING
PTD	PAPER TOWEL DISPENSER
RH	RANGE HOOD
RM	RECESSED ENTRY MAT
SCR	SHOWER CURTAIN RAIL
SC	COLUMN TO STRUCTURAL ENGINEERS DETAILS
SD	SOAP DISPENSER
SF	1.8M HIGH SLAT SCREEN FENCE
SK	WALL SHELF
SK	SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
SK-1	STAINLESS STEEL SINK
SK-2	STAINLESS STEEL SINK
SMP	BOX GUTTER SUMP & OVERFLOW
STF	STEEL TROWEL FINISHED CONCRETE
SRZ	STRUCTURAL ROOT ZONE
TPZ	TREE PROTECTION ZONE
TOSI	TACTILE INDICATOR
TH	THRESHOLD RAMP
TIM	TIMBER FLOORING
TP	TOILET PARTITIONS
TPH	TOILET PAPER HOLDER
TRS	TRANSLUCENT ROOF SHEETING
TS-1	TAP SET - WASHROOMS
TS-2	TAP SET - DISABLE COMPLIANT
TS-3	TAP SET - SINK
TS-4	TAP SET - CLEANERS
US	MOP & BROOM SHELF
V	VINYL
VP	VENT PIPE
VTY	REFER TO HYDRAULIC DOCUMENTS
WB	VANITY UNIT
WC-1	WORK BENCH
WC-2	TOILET PAN / SUITE
WC-3	TOILET PAN / SUITE DISABLE COMPLIANT
WC-4	TOILET PAN / SUITE AMBULANT
WG	WHEEL GUIDE
WT	WASH TROUGH
WS	WALL HUNG URINAL
WP	WHEEL STOP
XP	EPOXY FLOORING

Legend - Site

- Extent of site boundary
- Proposed 1 bed dwelling
- Proposed 2 bed dwelling
- Landscape area
- Footpath, Driveway and Car Park area
- Deep soil zone
- Ceramic Non-Slip Tiles
- Existing trees to remain. Refer also to Arborist report
- Existing trees to be removed. Refer also to Arborist report
- Stormwater pit. Refer also to drainage drawing
- Existing level. Refer also to survey
- Proposed levels. Refer also to drainage drawing

LEGEND - PLAN

- Ground Floor External Walls and Party Walls: Nom. 270mm thick cavity brick wall, finish as specified
- First Floor External Wall: Nom. 240mm thick brick veneer wall, finish as specified
- Nom. 90mm stud framed wall, c/w metal cladding fixed on battens, finish as specified
- Ground Floor Internal Walls: Nom. 110mm masonry wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.
- First Floor Internal Walls: Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.
- Non-slip ceramic floor tiles. Refer to finishes schedule
- Ceramic floor tiles. Refer to finishes schedule
- Carpet / vinyl floor finish. Refer to finishes schedule
- Proposed floor levels.

BASIX REQUIREMENTS

- Shower to have a min rating of 4 stars (>4.5 but <=6.0 L/min)
- Toilet flushing system to have a min rating of 4 stars
- Taps for kitchens and bathrooms to have a min rating of 5 stars
- Hot water units to be gas instantaneous system with a min rating of 6 stars
- Provide gas cooktop and electric oven to all units
- Provide ceiling fan to main bedroom and living room to all units

Common Areas:
- Rainwater tank to be a min of 17000 Litres and be of a central rain water tank, collecting a min of 4000mm of roof area. Landscape connection to all ground floor units and common landscaped area. Toilet and Laundry connection to all units
- Solar panels to be provided with a min electrical output of 1.1 peak kW

NATHERS Thermal Performance Specification - Orange			
External Walls			
Wall Type	Insulation	Colour	Comments
Brick Veneer	R2.7	Med - SA 0.475 - 0.70	Units 1, 2, 5 & 6 as per the elevations
Cavity Brick	R1.4	Med - SA 0.475 - 0.70	Units 3 & 4 as per the elevations
Metal Clad	R2.7	Light - SA < 0.475 Med - SA 0.475 - 0.70	All units as per the elevations
SA - Solar Absorbance			
Internal Walls			
Wall Type	Insulation	Comments	
Plasterboard Stud	None	Internally in units 1, 2, 5 & 6 except below	
Plasterboard Stud	R1.5	Bathroom wall of unit 2	
Single skin Brick	None	Internally in units 3 & 4 except below	
Single skin Brick	R1.5	Bathroom wall of unit 3 and 4	
Cavity Brick	None	Party walls between units	
Cavity Brick	None	Shared walls with lobby/stairs/lift	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground Level	
Concrete	None	Level 1	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	R2.7	All exposed ceiling throughout except for unit 2	
Plasterboard	R3.5	Exposed ceiling of unit 2	
Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foil-faced blanket	Light - SA < 0.475	All exposed roof throughout
SA - Solar Absorbance			
Glazing			
Opening Type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed	4.3	0.53	e.g. Single glazed ComfortPlus clear Aluminium Frame
Awning	4.3	0.47	e.g. Single glazed ComfortPlus clear Aluminium Frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type	Comments	
Fixed - Single glazed clear	Timber & Aluminium	U1	

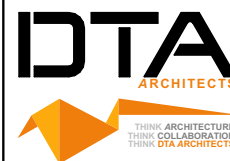
SITE PLAN - OPTION 3d
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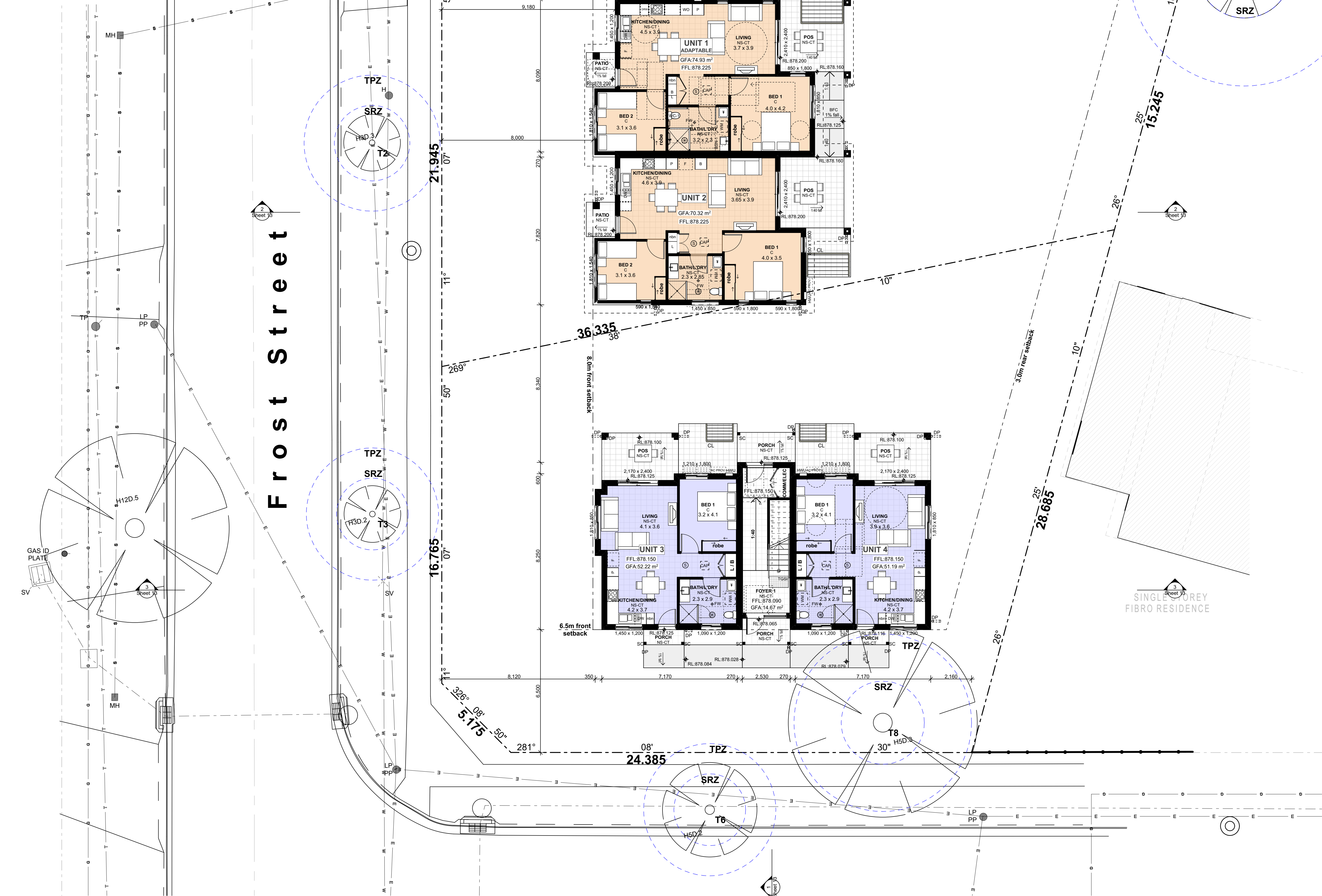
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		STRUCTURAL / CIVIL MSL CONSULTING ENGINEERS Pty Ltd PH (02) 4228 5247
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		LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATES Pty Ltd PH 0412 294 712
		BUSINESS PARTNER NSW GOVERNMENT
		PROJECT: GENERAL HOUSING at LOT 5 & 6 in DP 36132 1 WARATAH AVENUE & 50 FROST STREET, ORANGE NSW
		STATUS: DEVELOPMENT ASSESSMENT
		TITLE: SITE PLAN
		DATE: 24/02/2022
		SCALE: As shown @ A1
		PROJ: BGXUP
		JOB: 2021.009
		STAGE: C
		DRAWN: SD
		CHECKED: DD
		CERTIFIER: DD
		REV: A
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		6 of 17
		B

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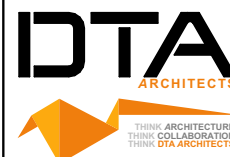
GROUND FLOOR PLAN
1:100



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REV	DATE	NOTATION/REMARK
B	1/02/2022	REVISED TO COUNCIL COMMENTS
A	16/11/2021	ISSUED FOR DA
1	16/11/2021	NOTATION/REMARK

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BUSINESS PARTNER



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GREATER WESTERN SYDNEY REGION

PROJECT:

GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:

GROUND FLOOR PLAN

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DEVELOPMENT ASSESSMENT

DATE	SCALE	PROJ	JOB
24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE	DRAWN	CHECKED	CERTIFIER
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TYPE	SHEET	REV	
A	7 of 17	B	

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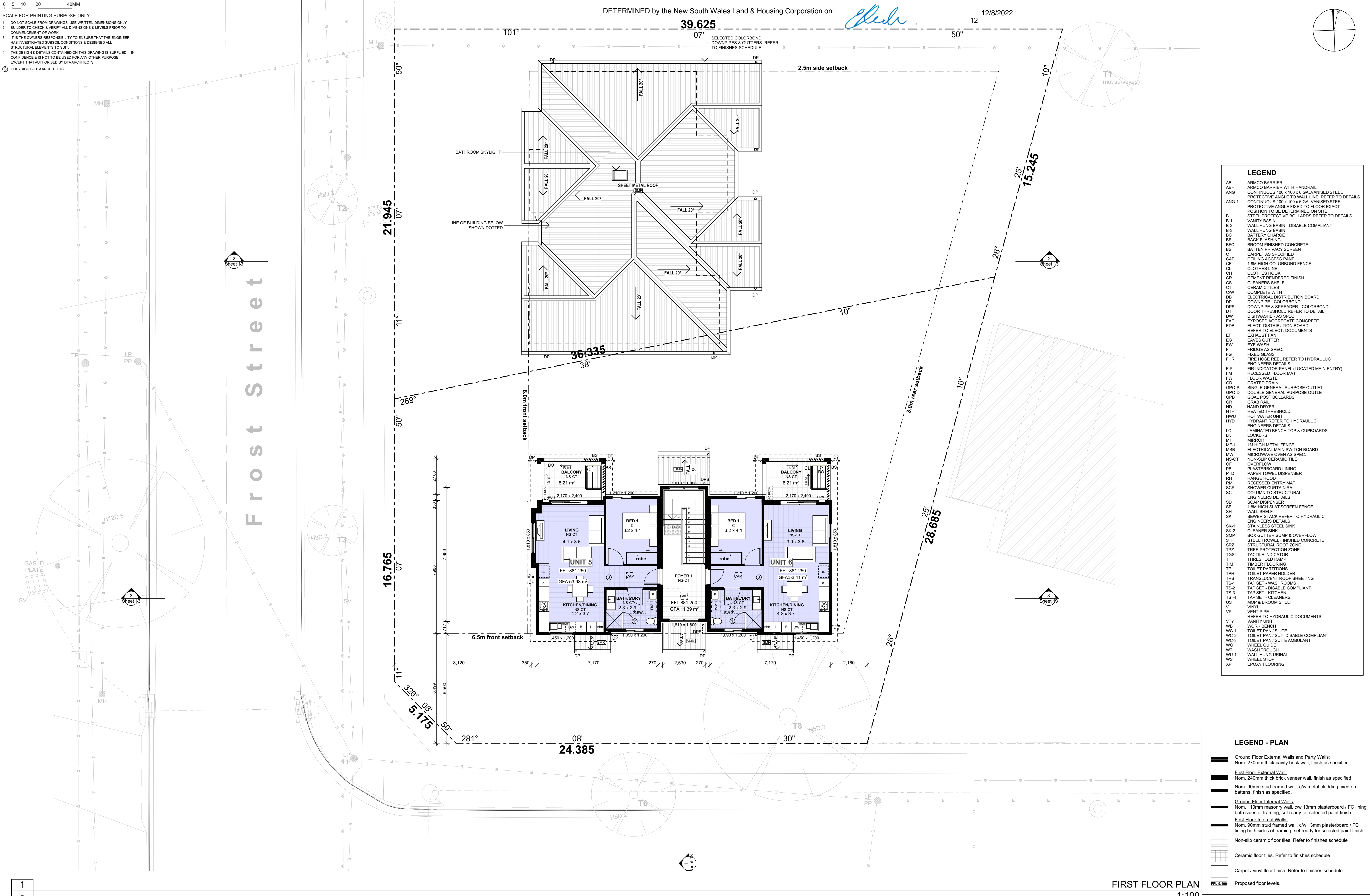
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12/8/2022



LEGEND

AB	ARMCO BARRIER
ABH	ARMCO BARRIER WITH HANDRAIL
ANG	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
ANG-1	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
B	STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
B-1	VANITY BASIN
B-2	WALL HUNG BASIN - DISABLE COMPLIANT
B-3	WALL HUNG BASIN
BC	BATTERY CHARGE
BF	BACK FLASHING
BFC	BROOM FINISHED CONCRETE
BS	BATTEN PRIVACY SCREEN
C	CARPET AS SPECIFIED
CAP	CEILING ACCESS PANEL
CF	1.8M HIGH COLORBOND FENCE
CL	CLOTHES LINE
CH	CLOTHES HOOK
CR	CEMENT RENDERED FINISH
CS	CLEANERS SHELF
CT	CERAMIC TILES
CW	COMPLETE WITH
DB	ELECTRICAL DISTRIBUTION BOARD
DP	DOWNSPIPE - COLORBOND
DPS	DOWNSPIPE & SPREADER - COLORBOND
DT	DOOR THRESHOLD REFER TO DETAIL
DW	DISHWASHER AS SPEC
EAC	EXPOSED AGGREGATE CONCRETE
EDB	ELECT. DISTRIBUTION BOARD. REFER TO ELECT. DOCUMENTS
EF	EXHAUST FAN
EG	EAVES GUTTER
EW	EYE WASH
F	FRIDGE AS SPEC.
FG	FIXED GLASS
FHR	FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
FIR	FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
FIP	RECESSED FLOOR MAT
FW	FLOOR WASTE
GD	GRATED DRAIN
GPO-S	SINGLE GENERAL PURPOSE OUTLET
GPO-D	DOUBLE GENERAL PURPOSE OUTLET
GPS	GOAL POST BOLLARDS
GR	GRAB RAIL
HD	HAND DRYER
HTH	HEATED THRESHOLD
HWU	HOT WATER UNIT
HYD	HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
LC	LAMINATED BENCH TOP & CUPBOARDS
LK	LOCKERS
M	MIRROR
MF-1	1M HIGH METAL FENCE
MSB	ELECTRICAL MAIN SWITCH BOARD
MW	MICROWAVE OVEN AS SPEC.
NS-CT	NON-SLIP CERAMIC TILE
OF	OVERFLOW
PF	PLASTERBOARD LINING
PTD	PAPER TOWEL DISPENSER
PH	RANGE HOOD
RM	RECESSED ENTRY MAT
SCR	SHOWER CURTAIN RAIL
SC	COLUMN TO STRUCTURAL ENGINEERS DETAILS
SD	SOAP DISPENSER
SF	1.8M HIGH SLAT SCREEN FENCE
SH	WALL SHELF
SK	SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
SK-1	STAINLESS STEEL SINK
SK-2	CLEANER SINK
SMP	BOX GUTTER SUMP & OVERFLOW
STP	STEEL TROWEL FINISHED CONCRETE
STR	STRUCTURAL ROOT ZONE
TSZ	TREE PROTECTION ZONE
TSI	TACTILE INDICATOR
TH	THRESHOLD RAMP
TIM	TIMBER FLOORING
TP	TOILET PARTITIONS
TPH	TOILET PAPER HOLDER
TRG	TRANSLUCENT ROOF SHEETING
TS-1	TAP SET - WASHROOMS
TS-2	TAP SET - DISABLE COMPLIANT
TS-3	TAP SET - KITCHEN
TS-4	TAP SET - CLEANERS
US	MOP & BROOM SHELF
V	VINYL
VP	VENT PIPE
VTY	REFER TO HYDRAULIC DOCUMENTS
WB	VANITY UNIT
WB	WORK BENCH
WC-1	TOILET PAN / SUITE
WC-2	TOILET PAN / SUITE DISABLE COMPLIANT
WC-3	TOILET PAN / SUITE AMBULANT
WG	WHEEL GUIDE
WT	WASH TROUGH
WU-1	WALL HUNG URINAL
WS	WHEEL STOP
XP	EPOXY FLOORING

LEGEND - PLAN

	Ground Floor External Walls and Party Walls: Nom. 270mm thick cavity brick wall, finish as specified
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	Non-slip ceramic floor tiles. Refer to finishes schedule
	Ceramic floor tiles. Refer to finishes schedule
	Carpets / vinyl floor finish. Refer to finishes schedule
	Proposed floor levels.

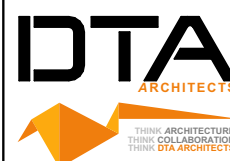
FIRST FLOOR PLAN
1:100



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E	16/11/2021	ISSUED FOR DA
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Y	16/11/2021	ISSUED FOR DA
Z	16/11/2021	ISSUED FOR DA

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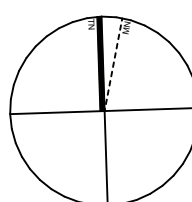
PROJECT:
GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
FIRST FLOOR PLAN

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TYPE:	SD	DD	DD
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DOWNPIPES & GUTTERS, REFER
TO FINISHES SCHEDULE

2.5m side setback

~~T1~~
(not surveyed)

LEGEND

AB	ARMCO BARRIER
ABH	ARMCO BARRIER WITH HANDRAIL
ANG-1	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
ANG-2	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
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B-2	WALL HUNG BASIN - DISABLE COMPLIANT
B-3	BATTERY CHARGE
BS	BATH FLASHING
BF	BROOM FINISHED CONCRETE
BB	BATTEN PRIVACY SCREEN
C	CARPET AS SPECIFIED
CA	CLOTHES ACCESS PANEL
CF	1.8M HIGH COLORBOND FENCE
CL	CLOTHES LINE
CH	CLOTHES HOOK
CR	CEMENT RENDERED FINISH
CW	CLEANERS SHELF
CT	CERAMIC TILES
COM	COMPLETE WITH
CP	ELECTRICAL DISTRIBUTION BOARD
DP	DOWNPIPE - COLORBOND
DD	DOWNPIPE - SPREADER - COLORBOND
DT	DOOR THRESHOLD REFER TO DETAIL
DO	DISHWASHER AS SPEC
EAG	EXPOSED AGGREGATE CONCRETE
EDB	ELECT. DISTRIBUTION BOARD
EF	REFER TO ELEC. DOCUMENTS
EX	EXHAUST FAN
EG	EAVES GUTTER
EW	EYE WASH
F	FIRE AS SPEC.
FG	FIXED GLASS
FHR	FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
FI	FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
FP	RECESSED FLOOR MAT
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GD	GRADED DRIVE
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LC	LAMINATED BENCH TOP & CUPBOARDS
LD	LOCKERS
M	MIRROR
IM	1M HIGH METAL FENCE
MSB	ELECTRICAL MAIN SWITCH BOARD
MW	MICROWAVE OVEN AS SPEC.
MSCT	NON-SLIP CERAMIC TILE
O	OVERFLOW
PB	PLASTERBOARD LINING
PA	PAPER TOWEL DISPENSER
RR	RANGE HOOD
RM	RECESSED ENTRY MAT
SCR	SHOWER CURTAIN RAIL
SC	COLUMN TO STRUCTURAL ENGINEERS DETAILS
SD	SOAP DISPENSER
SH	1.8M HIGH SLAT SCREEN FENCE
SH	WALL SHELF
SK	SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
SK-1	STAINLESS STEEL SINK
SK-2	CLEANER SINK
SMF	BOX GUTTER, DRAIN & OVERFLOW
STF	STEEL TROWEL FINISHED CONCRETE
SRZ	STRUCTURAL ROOT ZONE
TR	TREE PROTECTION ZONE
TGSI	TACTILE INDICATOR
TH	THRESHOLD
TM	TIMBER FLOORING
TP	TOILET PARTITIONS
TPH	TOILET PAPER HOLDER
TRS	TRANSlucent ROOF SHEETING
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WU-1	WALL HUNG URINAL
WS	WHEEL STOP
WP	EPOXY FLOORING

ROOF PLAN
1:100

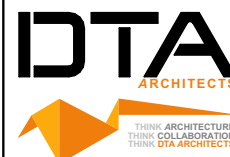
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at
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STREET, ORANGE NSW

ROOF PLAN

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9:22 AM

STATUS: **DEVELOPMENT ASSESSMENT**

DATE:	SCALE:	PROJ:	JOB:
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24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE:	DRAWN:	CHECKED:	CERTIFIER:

C	SD	DD	DD
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A 9 of 17 B

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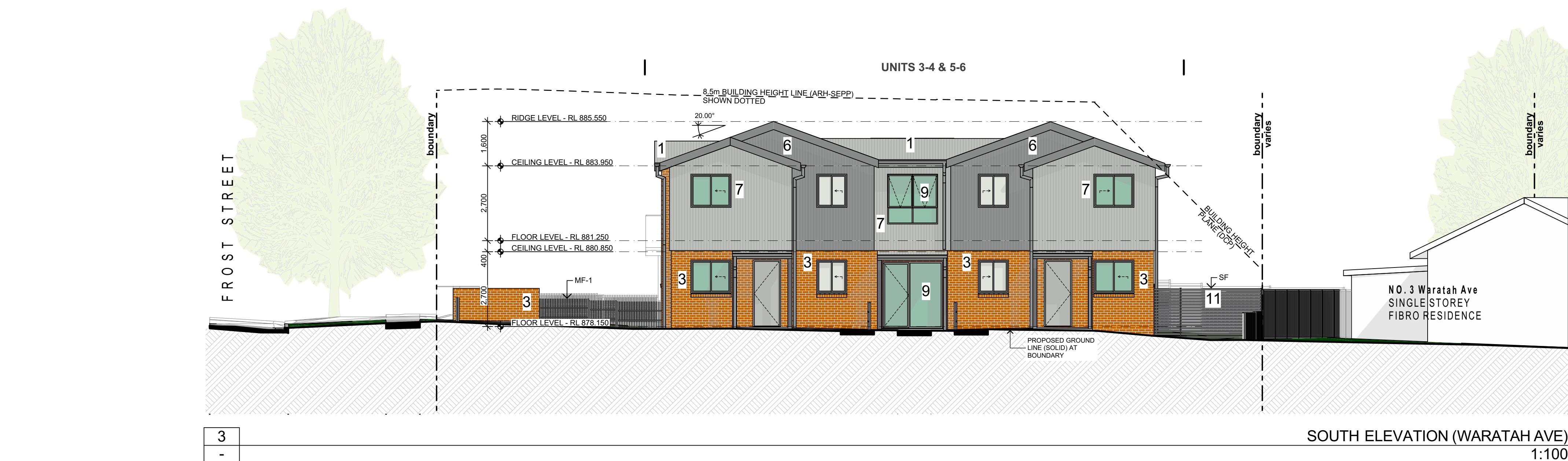
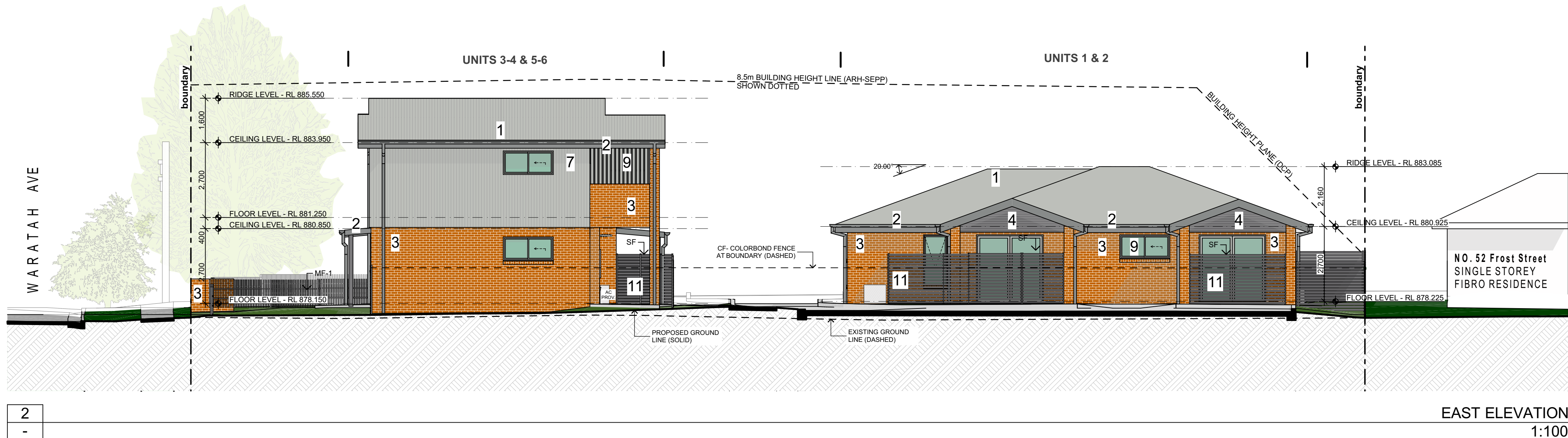
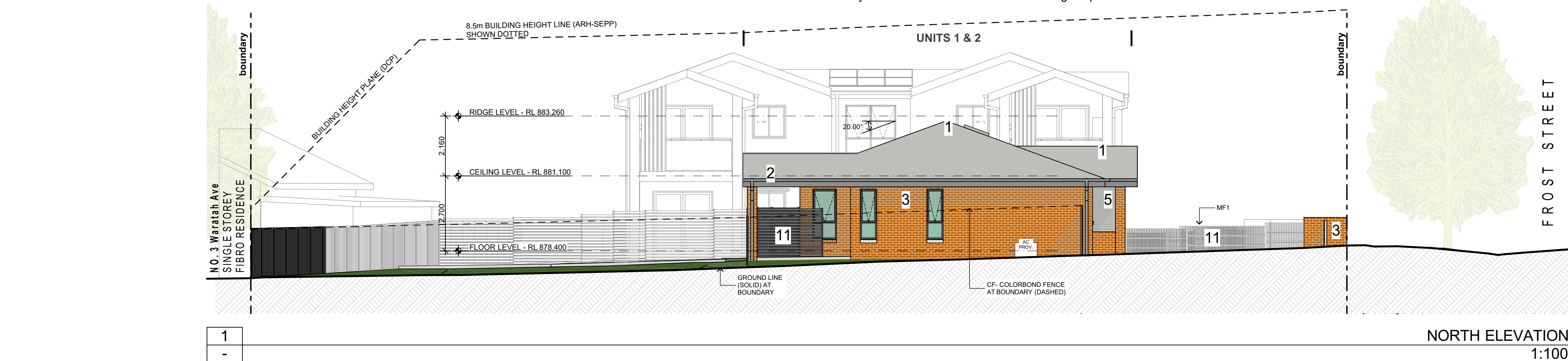
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EXTERNAL FINISHES SCHEDULE

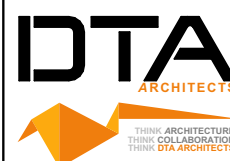
- | | |
|----|--|
| 1 | ROOF SHEET (SMR) - Sheet Metal Roof
Profile: Custom Orb - Colorbond Shale Grey |
| 2 | GUTTER / DOWNPIPES / BARGE BOARD / FASCIA
Colorbond, Colorbond Windspray |
| 3 | EXTERNAL WALL -
(FBK1) - Face Brick Type 1
PGH: Range - Classic Collections Foundations,
Name - Pilbara |
| 4 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Windspray
Horizontal Orientation |
| 5 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Shale Grey
Horizontal Orientation |
| 6 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Windspray
Vertical Orientation |
| 7 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Shale Grey
Vertical Orientation |
| 8 | SOFFIT LINING
Colour - Dulux Vivid White |
| 9 | WINDOW & DOOR FRAMES / BALCONY PRIVACY
SCREEN BATTERS / BALCONY BALUSTRADE FRAME
Powdercoat - Shale Grey |
| 10 | CONCRETE SLAB EDGE
Colour - Dulux Shale Grey |
| 11 | SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL
FENCE (MF1) / COLORBOND FENCE (CF).
Aluminium Powdercoat - Basalt |



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NOMINATED ARCHITECTS:

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NSW ARB No 9068



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BUSINESS PARTNER

NSW GOVERNMENT

Planning, Industry &
Environment

Land & Housing Corporation

GREATER WESTERN SYDNEY REGION

PROJECT:

GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE: ELEVATIONS

FILE: CAD File: Z:\SharedData\3\2021
3\2 DA\2021_009 LAHC Waratah St
Orange.DWG
PLOTTED: 24/02/2022
9:22 AM

STATUS: DEVELOPMENT ASSESSMENT

DATE	SCALE	PROJ	JOB
24/02/2022	As shown @ A1	BGXUP	2021_009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV	
A	10 of 17	B	

0 5 10 20 40MM

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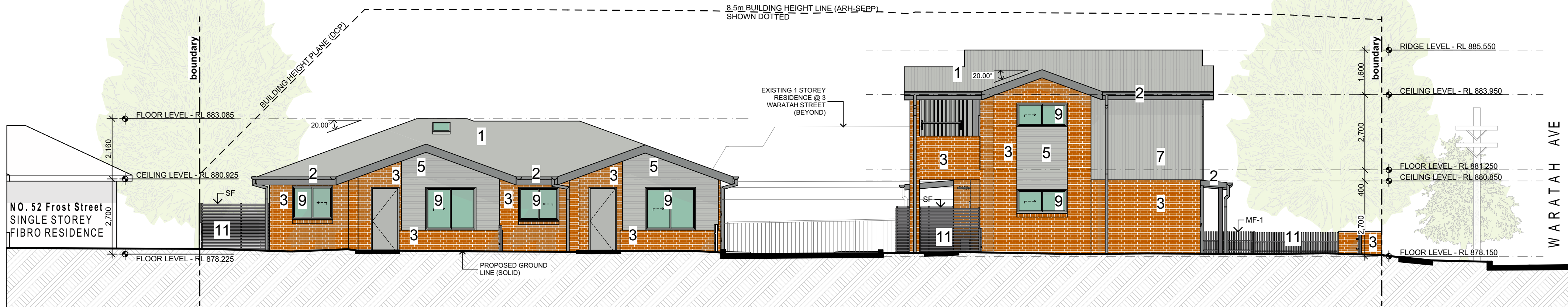
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UNITS 1 & 2

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UNITS 3-4 & 5-6

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1
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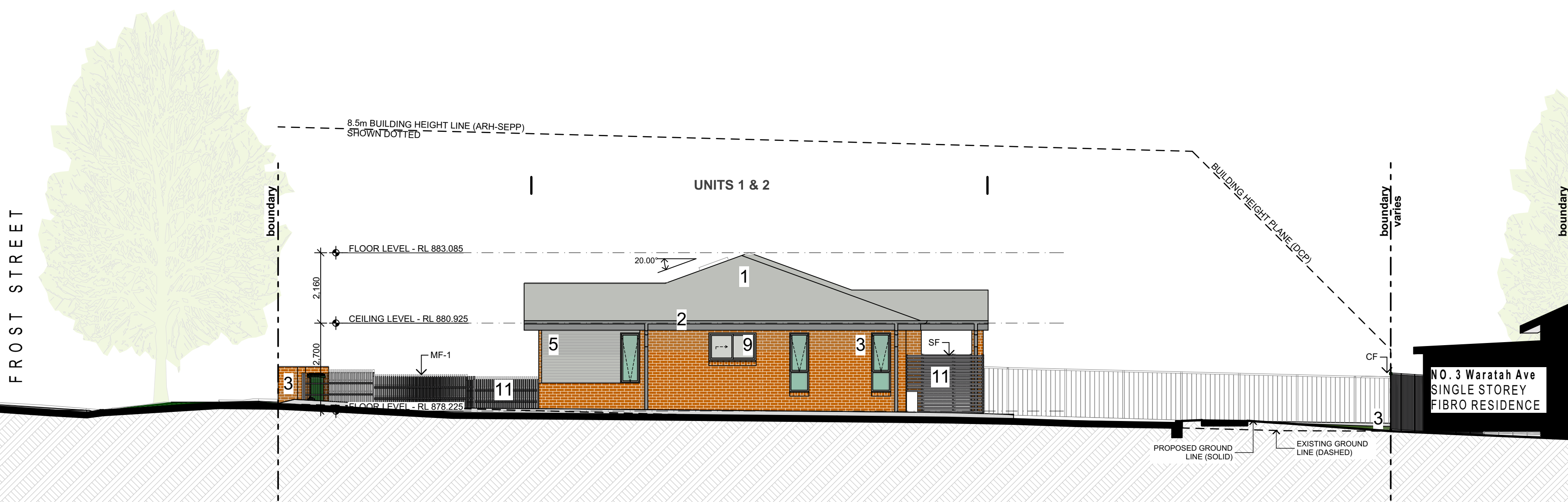
WEST ELEVATION (FROST STREET)
1:100

UNITS 3-4 & 5-6



2
-

NORTH INTERNAL ELEVATION
1:100



3
-

SOUTH INTERNAL ELEVATION
1:100

EXTERNAL FINISHES SCHEDULE

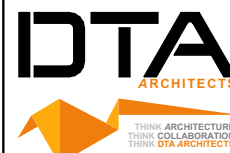
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2	GUTTER / DOWNPIPES / BARGE BOARD / FASCIA Colorbond, Colorbond Windspray
3	EXTERNAL WALL - (FBK1) - Face Brick Type 1 PGH: Range - Classic Collections Foundations, Name - Pilbara
4	WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Windspray Horizontal Orientation
5	WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Shale Grey Horizontal Orientation
6	WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Windspray Vertical Orientation
7	WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Shale Grey Vertical Orientation
8	SOFFIT LINING Colour - Dulux Vivid White
9	WINDOW & DOOR FRAMES / BALCONY PRIVACY SCREEN BATTERS / BALCONY BALUSTRADE FRAME Powdercoat - Shale Grey
10	CONCRETE SLAB EDGE Colour - Dulux Shale Grey
11	SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL FENCE (MF1) / COLORBOND FENCE (CF), Aluminium Powdercoat - Basalt



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B	11/02/2022	REVISED TO COUNCIL COMMENTS
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REV	DATE	NOTATION/AMENDMENT
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GREATER WESTERN SYDNEY REGION

PROJECT:

GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
ELEVATIONS

FILE: CAD File: Z:\SharedData\3\2021
3\2 DA\2021.009 LAHC Waratah St
Orange.DWG

PLOTTED: 24/02/2022
9:22 AM




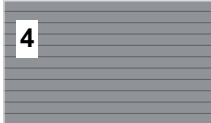
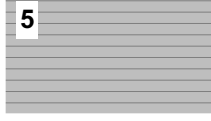






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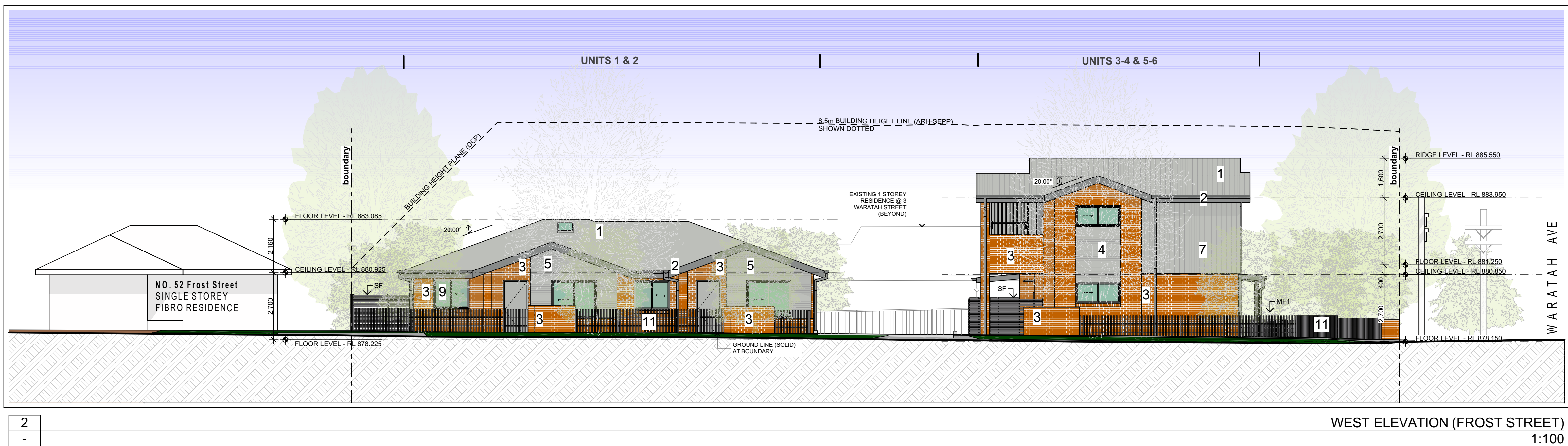
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24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV	
A	11 of 17	B	

12

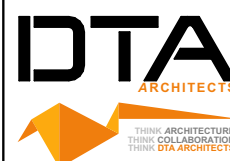
12/8/2022



1		ROOF SHEET (SMR) - Sheet Metal Roof Profile: Custom Orb - Colorbond Shale Grey
2		GUTTER / DOWNPIPES / BARGE BOARD / FASCIA Colorbond, Colorbond Windspray
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9		WINDOW & DOOR FRAMES / BALCONY PRIVACY SCREEN BATTENS / BALCONY BALUSTRADE FRAME Powdercoat - Shale Grey
10		CONCRETE SLAB EDGE Colour - Dulux Shale Grey
11		SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL FENCE (MF1) / COLORBOND FENCE (CF). Aluminium Powdercoat - Basalt



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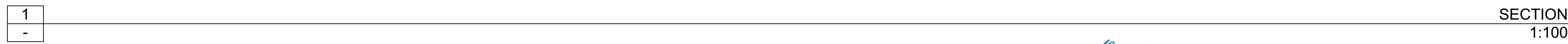
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Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

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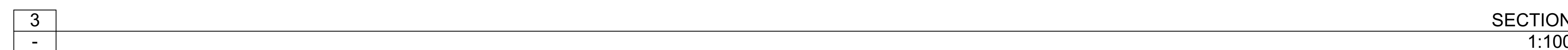
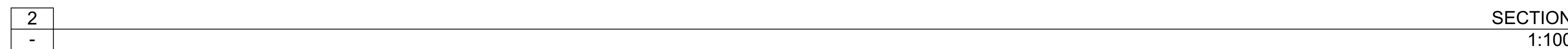
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TYPE:	SHEET:	REV:
A	12 of 17	B



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12/8/2022



11 SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL FENCE (MF1) / COLORBOND FENCE (CF).
Aluminium Powdercoat - Basalt

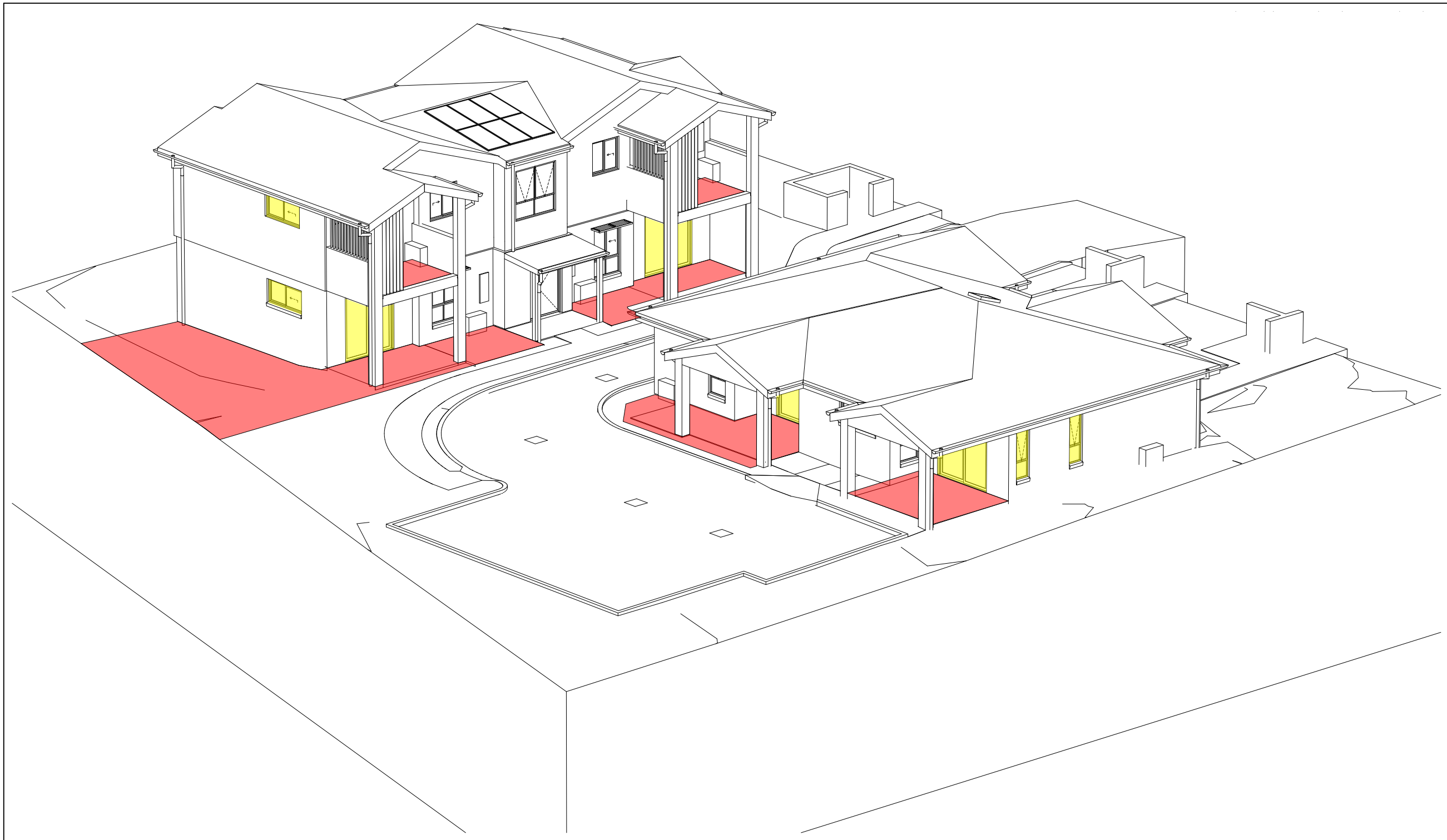
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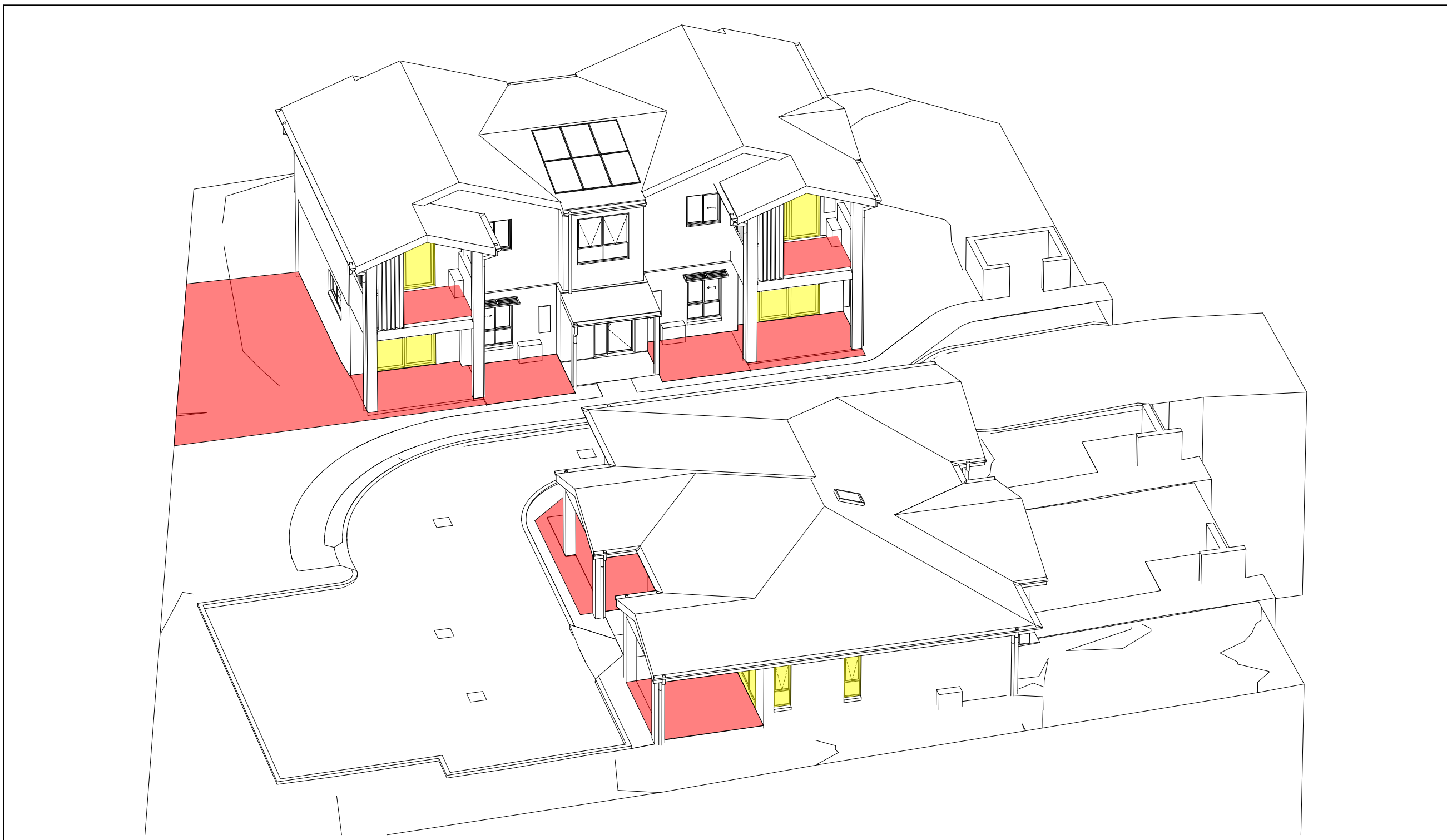
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VIEW FROM SUN - 9am 21st JUNE
1:142.86



2
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VIEW FROM SUN - 10am 21st JUNE
1:142.86



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VIEW FROM SUN - 11am 21st JUNE
1:142.86



4
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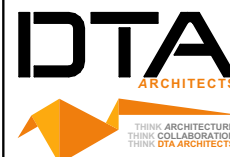
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REV	DATE	NOTATION/REMARKS
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GREATER WESTERN SYDNEY REGION

PROJECT:
GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
SOLAR ACCESS - VIEW FROM SUN
FILE: CAD File: Z:\Shared\Data\3\2021
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Orange.DA03.ppt
PLOTTED: 24/02/2022
9:22 AM

STATUS:	DEVELOPMENT ASSESSMENT		
DATE:	24/02/2022	SCALE:	As shown @ A1
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CHECKED:	DD	CERTIFIER:	DD
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TYPE:	A	SHEET:	14 of 17
JOB:	2021.009		B

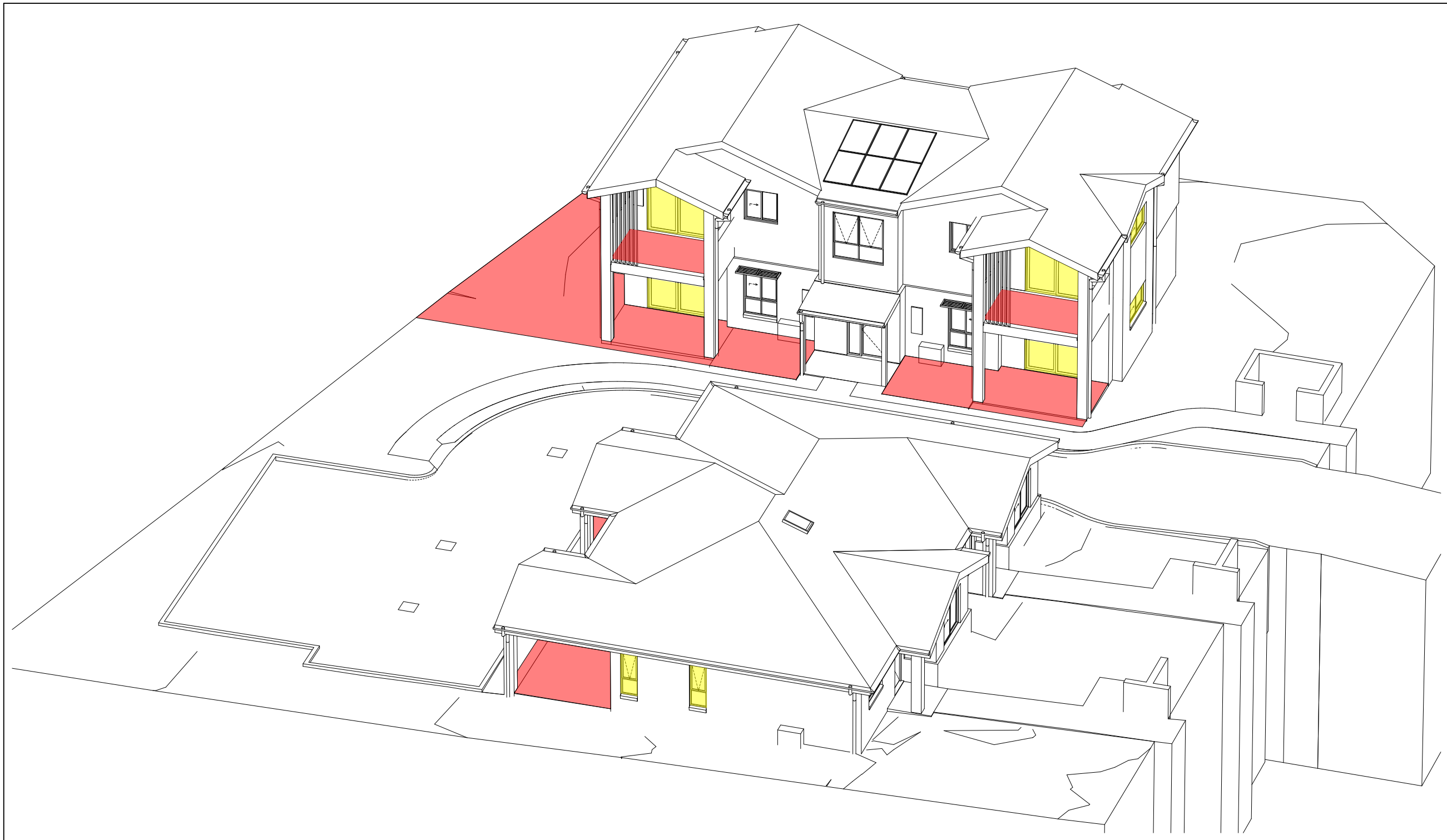
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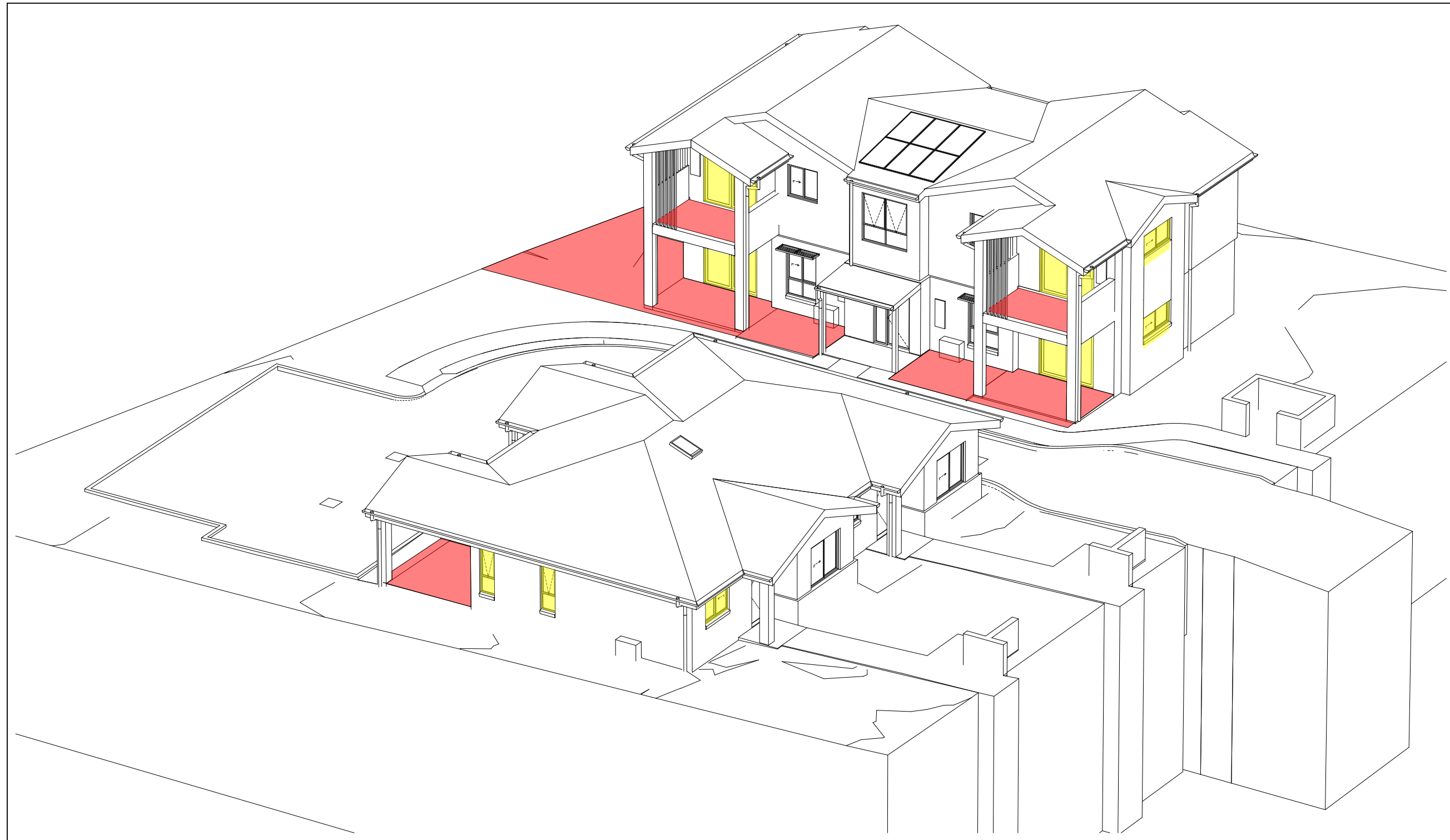
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12/8/2022



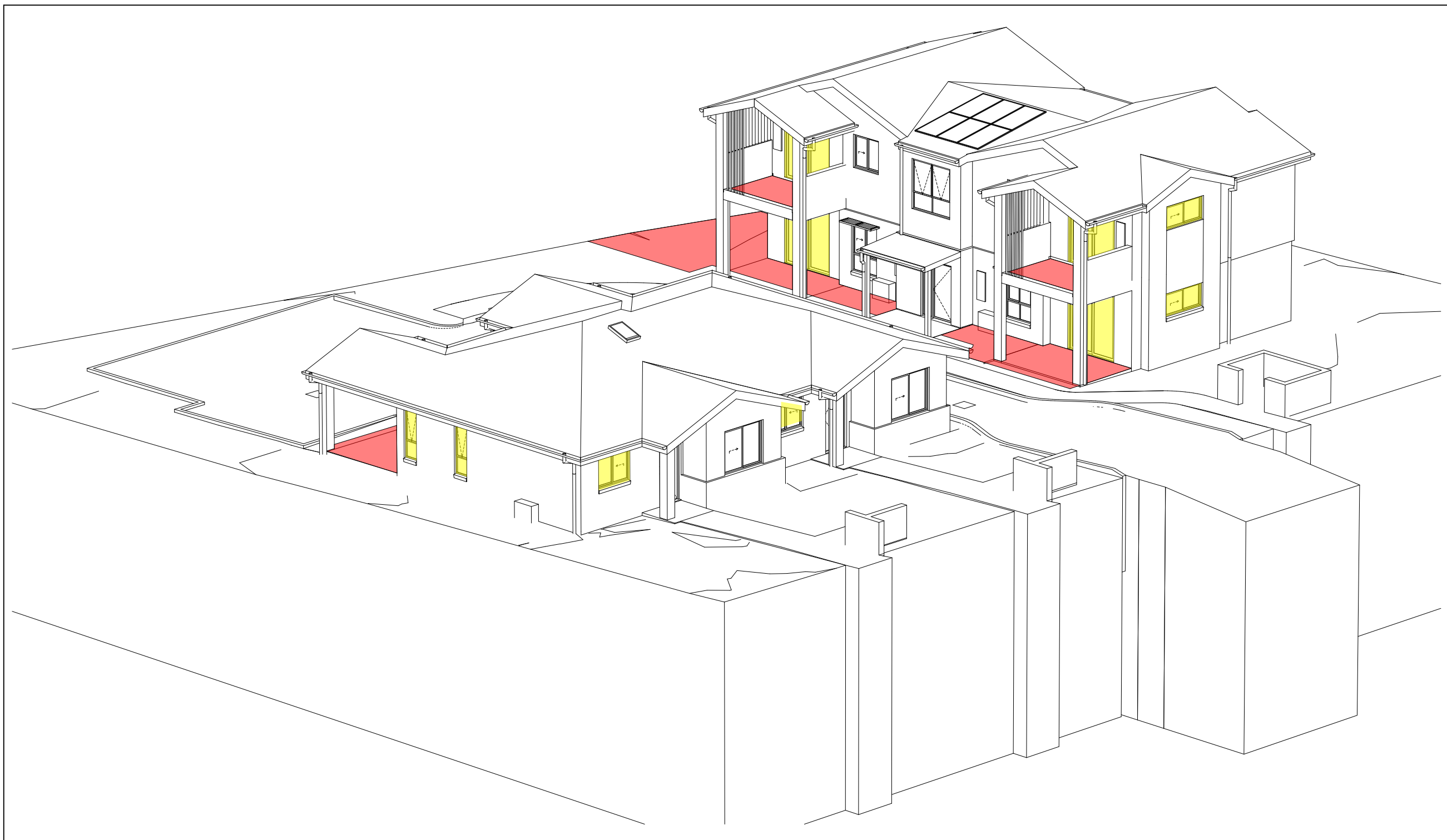
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VIEW FROM SUN - 1pm 21st JUNE
1:142.86



2
-

VIEW FROM SUN - 2pm 21st JUNE
1:142.86



3
-

VIEW FROM SUN - 3pm 21st JUNE
1:142.86

Solar Access to Living Rooms

	9-10am	10-11am	11-12pm	12-1pm	1-2pm	2-3pm	Hours
Unit 1							6
Unit 2							1.5
Unit 3							6
Unit 4							6
Unit 5							5
Unit 6							5

Solar Access to Private Open Space

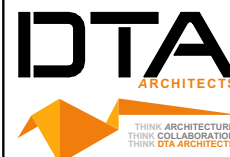
	9-10am	10-11am	11-12pm	12-1pm	1-2pm	2-3pm	Hours
Unit 1							6
Unit 2							2.5
Unit 3							6
Unit 4							6
Unit 5							6
Unit 6							6



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NSW ARB No.9068

Member
Australian Institute of Architects

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GREATER WESTERN SYDNEY REGION

PROJECT:
GENERAL HOUSING

at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
SOLAR ACCESS - VIEW FROM SUN

FILE: CAD File: Z:\SharedData\3\2021
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1\3.2.DA\2021.009.LAHC Waratah St
Orange.DA03.pdf

PLOTTED: 24/02/2022
9:22 AM

STATUS: DEVELOPMENT ASSESSMENT

DATE	SCALE	PROJ	JOB
24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV	
A	15 of 17	B	

0 5 10 20 40MM

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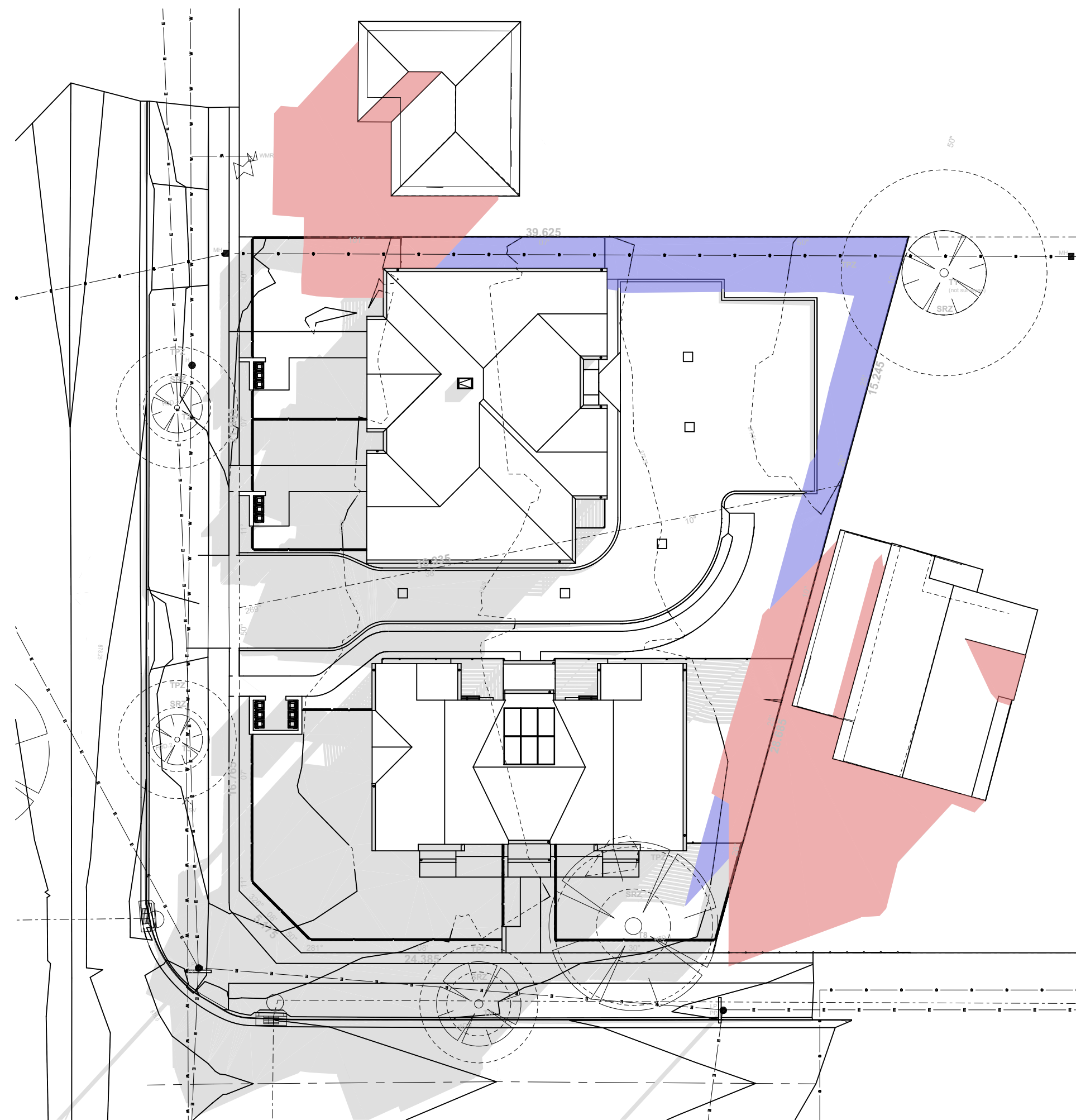
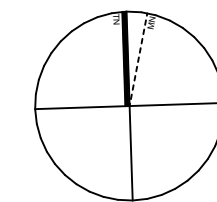
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12/8/2022

DETERMINED by the New South Wales Land & Housing Corporation on:

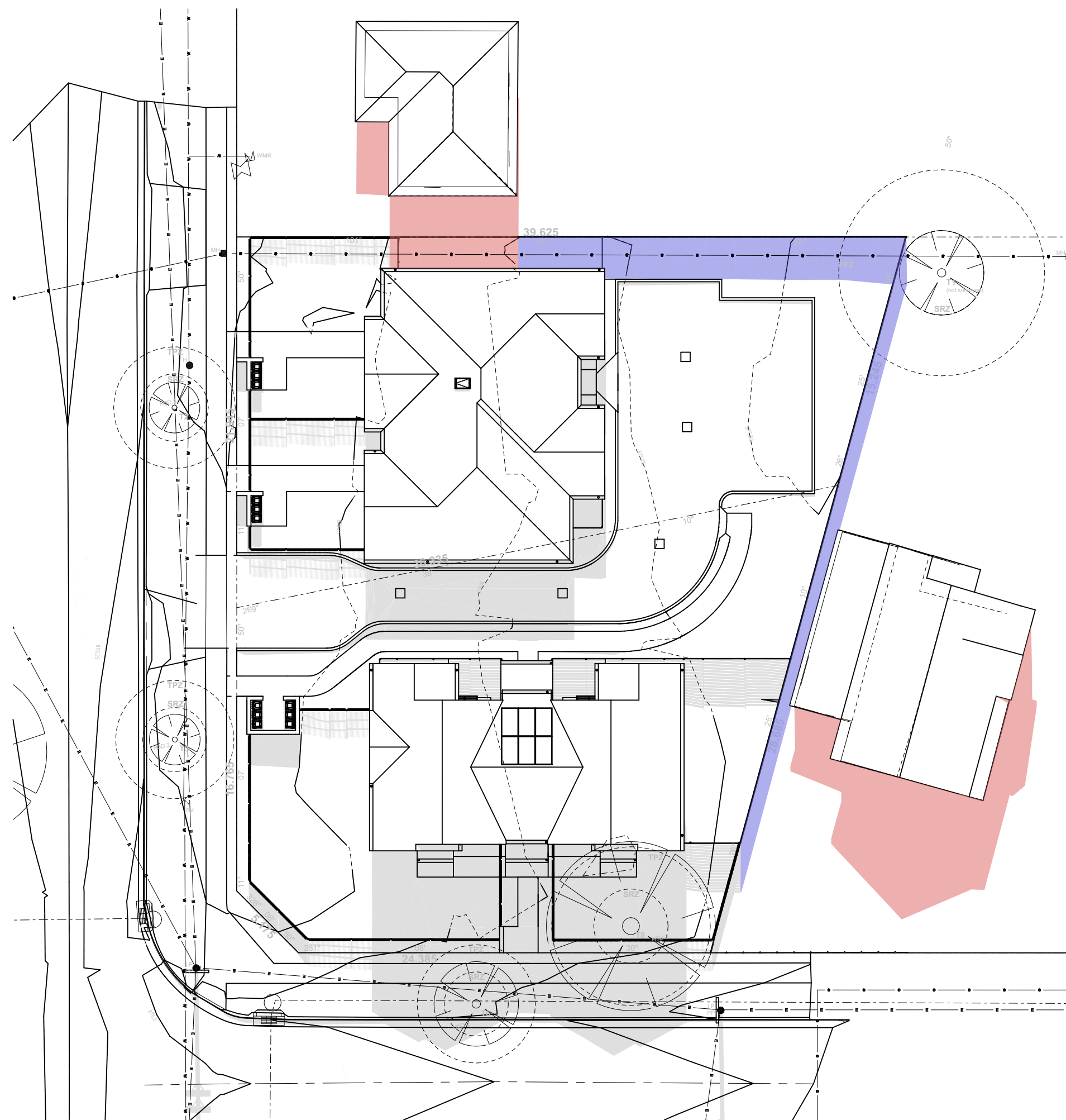
LEGEND

- Grey area indicates shadows cast by proposed development
- Red area indicates shadows cast by neighbouring properties
- Blue area indicates shadows cast by 1.8m high boundary fence



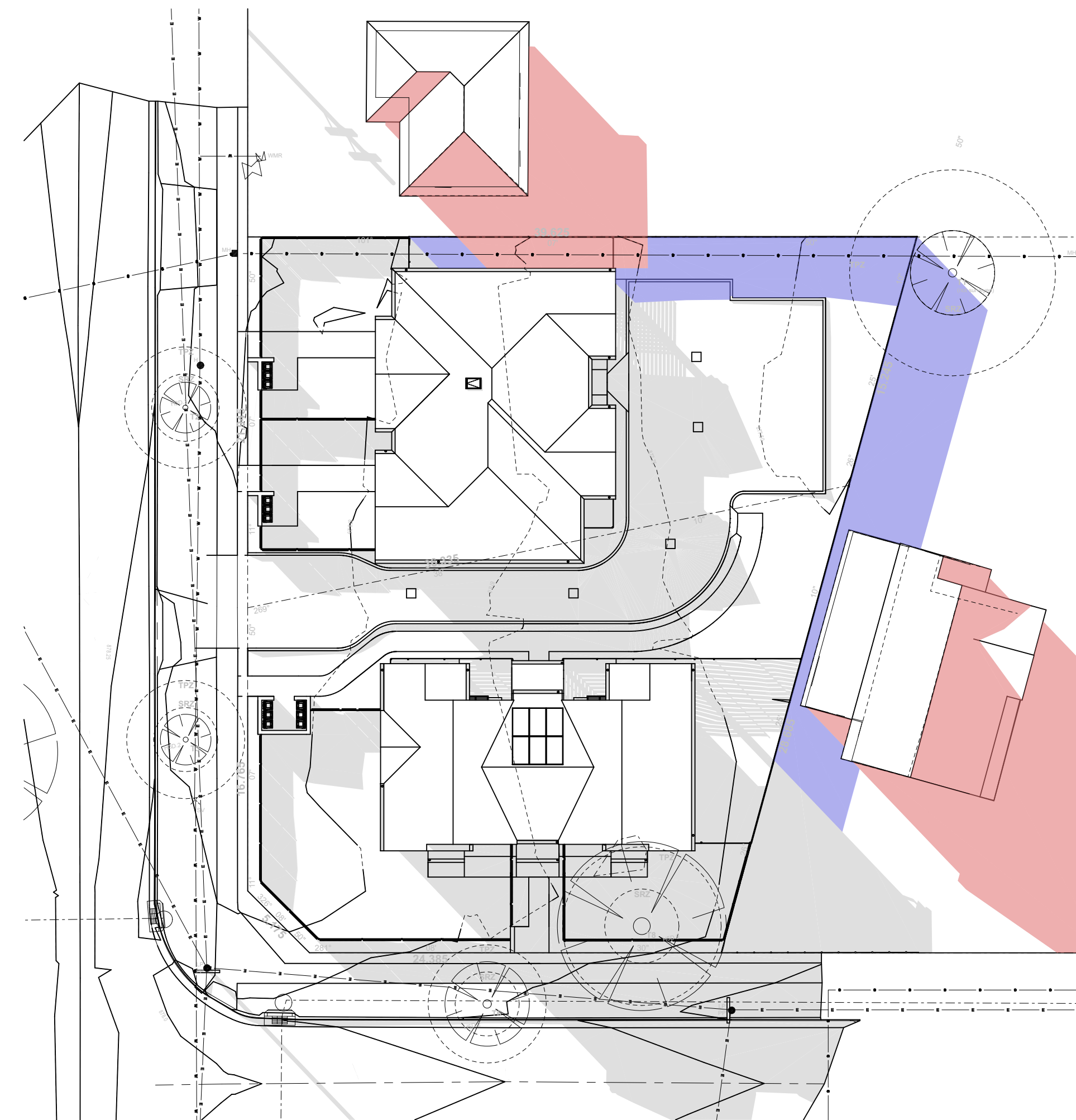
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-

SHADOW DIAGRAM - 9am 21st JUNE
1:250



2
-

SHADOW DIAGRAM - 12noon 21st JUNE
1:250



3
-

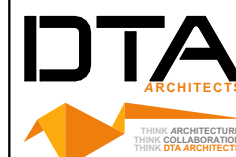
SHADOW DIAGRAM - 3pm 21st JUNE
1:250



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PROJECT:
GENERAL HOUSING

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1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
SHADOW DIAGRAMS

FILE: CAD File: Z:\SharedData\3\2021
1\2021.009.LAHC Waratah St Orange\3.Design
1\3.2.DA\2021.009.LAHC Waratah St
Orange.DA03.pht

PLOTTED: 24/02/2022
9:22 AM

STATUS: DEVELOPMENT ASSESSMENT			
DATE	SCALE	PROJ	JOB
24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV:	
A	16 of 17	B	

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- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
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1
-

View 1 - Waratah Avenue



2
-

View 2 - Corner of Waratah & Frost



3
-

View 3 - Frost Street



4
-

View 4 - Frost Street

DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022

Chen



5
-

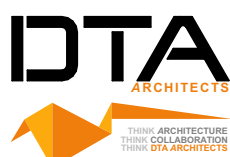
PHOTOMONTAGE - VIEW FROM FROST STREET



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PARRAMATTA NSW 2124
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NOMINATED
ARCHITECTS:

Daniel Donal
NSW ARB No.9068



REV	DATE	NOTATION/REMARK
B	1/02/2022	REVISED TO COUNCIL COMMENTS
A	16/11/2021	ISSUED FOR DA
REV	DATE	NOTATION/REMARK
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Planning, Industry &
Environment
Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

PROJECT:
GENERAL HOUSING

at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
PERSPECTIVES

FILE: CAD File: Z:\SharedData\3\2021
3\2021_009_LAHC Waratah St Orange\3.Design
3.2 DA\2021_009_LAHC Waratah St
Orange.DWG.pht

PLOTTED: 24/02/2022
9:22 AM

STATUS: DEVELOPMENT ASSESSMENT

DATE	SCALE	PROJ	JOB
24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV	
A	17 of 17	B	

PROPOSED GENERAL HOUSING DEVELOPMENT

1 WARATAH & 50 FROST STREET, ORANGE

HYDRAULIC SERVICES PLAN

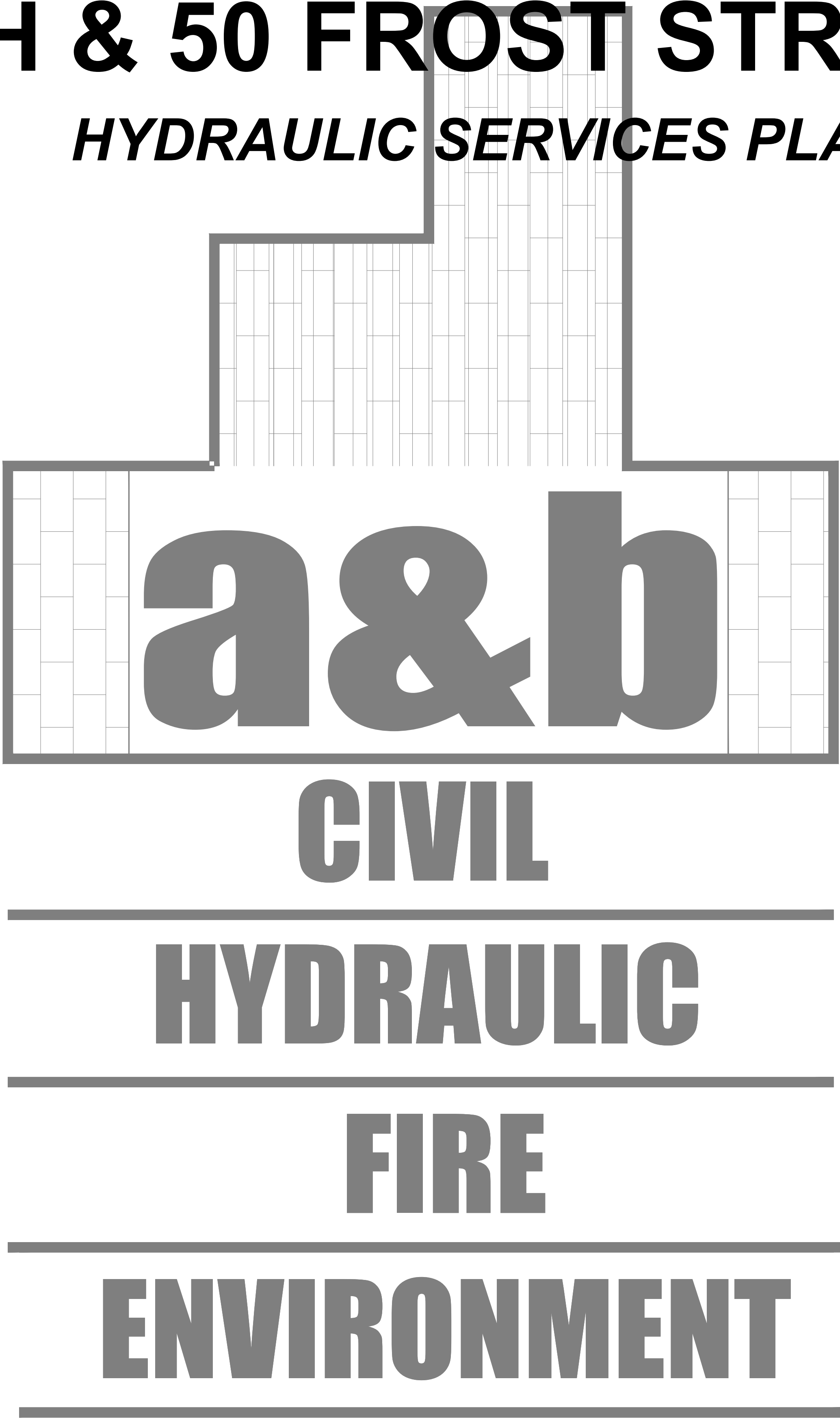
12/8/2022

SERVICE LEGEND

---	STORMWATER DRAINAGE
---	SEWER DRAINAGE/SANITARY PLUMBING
---	COLD WATER SERVICE
---	RAINWATER / RECYCLED WATER REUSE SERVICE WATER SERVICE
---	HOT WATER SUPPLY
---	GAS SERVICE
---	VENT PIPING
---	SUBSOIL DRAINAGE
---	SILT FENCE

GENERAL HYDRAULIC SERVICES NOTES

- a. IF IN DOUBT, ASK. REFER ANY QUESTIONS OR CLARIFICATIONS YOU HAVE PRIOR TO THE CLOSE OF TENDER TO THE HYDRAULIC ENGINEER, ARCHITECT, OR OTHER RELEVANT PARTY. FAILURE TO DO SO DOES NOT ABSOLVE THE CONTRACTOR OF THEIR RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS.
- b. THE CONTRACTOR SHALL READ AND FULLY FAMILIARISE THEMSELVES WITH THE HYDRAULIC PLANS, HYDRAULIC SPECIFICATION DOCUMENTS, AUSTRALIAN STANDARDS, AND AUTHORITY REQUIREMENTS APPLICABLE TO THE WORKS. CLAIMS DUE TO IGNORANCE OF THE CONTENTS OF HYDRAULIC SERVICES DOCUMENTS AND / OR REQUIREMENTS OF AUSTRALIAN STANDARDS / AUTHORITY REQUIREMENTS WILL NOT BE ENTERED INTO.
- c. THE CONTRACTOR IS REQUIRED TO VISIT AND INSPECT EXISTING SITE STRUCTURES, SERVICES AND CONDITIONS OF THE SITE PRIOR TO SUBMITTING THEIR TENDER AND FAMILIARISE THEMSELVES WITH THE VISIBLE NATURE AND CONDITIONS OF THE SITE RELATIVE TO THE WORKS TO BE CARRIED OUT. CLAIMS DUE TO IGNORANCE OF EXISTING SITE CONDITIONS WILL NOT BE ENTERED INTO.
- d. THE HYDRAULIC SERVICES DRAWINGS AND SPECIFICATION SET OUT THE PROJECT REQUIREMENTS TO BE MET OVER AND ABOVE THE MINIMUM STANDARDS AS SET OUT BY THE RELEVANT AUSTRALIAN STANDARD APPLICABLE TO THAT SERVICE. THE CONTRACTOR SHALL MAKE DUE ALLOWANCE IN THEIR TENDER, AND WARRANTS THAT THEY HAVE MADE DUE ALLOWANCE FOR ALL REQUIREMENTS NECESSARY FOR THE EXECUTION OF THE WORKS IN ACCORDANCE WITH THE STANDARDS AS SET OUT BY THE RELEVANT AUSTRALIAN STANDARD APPLICABLE TO THAT SERVICE. THE RELEVANT LOCAL AUTHORITY REQUIREMENTS AND FOR THOSE REQUIREMENTS AS SET OUT IN THE HYDRAULIC SERVICES DRAWINGS AND THE ACCOMPANYING SPECIFICATION.
- e. HYDRAULIC SERVICES DRAWINGS ARE TO BE READ IN CONJUNCTION WITH HYDRAULIC SERVICES SPECIFICATION AND DRAWINGS OF ALL OTHER DISCIPLINES FOR THIS PROJECT. IGNORANCE OF THE CONTENTS OF ANY DOCUMENT RELATIVE TO THE PROJECT SHALL NOT PROVIDE A BASIS FOR ANY VARIATION TO THE CONTRACT.
- f. ALLOW TO OBTAIN ALL APPROVALS AND PAY ALL FEES AND CHARGES TO ALL AUTHORITIES IN RELATION TO THE PROPOSED SERVICE INSTALLATIONS INDICATED ON THE DRAWINGS.
- g. ALLOW TO DISCONNECT & SEAL ALL REDUNDANT HYDRAULIC SERVICES RELATED TO THE INSTALLATION OF THE PROPOSED WORKS TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY..
- h. ALL WORK BE CARRIED OUT IN ACCORDANCE WITH WATER & SEWER AUTHORITY REGULATIONS, SUPERINTENDENTS APPROVAL & HYDRAULIC SPECIFICATION.
- i. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND. LOCATION & DEPTH / INVERT LEVEL OF BRANCH SHALL BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- j. REUSED DRAINS UNDER BUILDINGS SHALL BE RETESTED WHERE DIRECTED BY SUPERINTENDENT.
- k. INSPECTION OPENINGS SHALL BE PROVIDED AT:
- l. THE PROPERTY BOUNDARY
- m. ON EACH WC OR BRANCH
- n. AT MAX. 30m INTERVALS SPREAD EQUIDISTANT WHERE POSSIBLE
- o. IMMEDIATELY UPSTREAM & DOWNSTREAM OF ALL JUMP-UPS
- p. AS REQUIRED BY THE AUTHORITY FOR INSPECTION & MAINTENANCE
- q. ALL SERVICES THAT CROSS PAVEMENTS, FOOTING ETC SHALL BE BACKFILLED WITH GRANULAR MATERIAL TO SUBGRADE LEVEL & COMPACTED TO 95% M.M.D.D.
- r. PROVIDE 80mm COMPRESSIBLE MATERIAL OVER PIPEWORK WHERE CLEARANCE TO UNDERSIDE OF FOOTING IS LESS THAN 150mm UNLESS NOTED OTHERWISE.
- s. ON COMPLETION OF PIPE INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION INCLUDING: KERBS, FOOTPATH, CONCRETE AREAS, GRAVEL AREAS & ROAD PAVEMENTS.
- t. CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION SHALL BE MADE OVER AUTHORITY SERVICES, TELSTRA OR ELECTRICAL SERVICES. EXCAVATE BY HAND IN THESE AREAS.
- u. THE PLUMBING CONTRACTOR SHALL OBTAIN ALL AUTHORITY APPROVALS & PAY ALL FEES.
- v. INVERT LEVELS SHOWN ARE INDICATIVE ONLY. CONFIRM ALL LEVELS ON SITE BEFORE COMMENCING INSTALLATION WORK..
- w. ACCESS PANEL ARE TO BE INSTALLED WHERE REQUIRED TO ACCESS CONTROL VALVES IN WATER LINES AS REQUIRED & INSPECTION OPENINGS ON STORMWATER & SEWER RISERS. ACCESS PANELS SHALL MATCH PROPOSED FINISH. REFER TO ARCHITECTURAL DRAWING FOR FINISHES.



EXISTING SERVICES NOTES

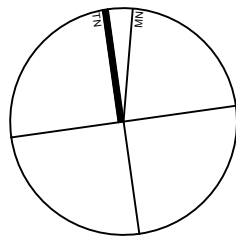
1. SERVICES SHOWN ON HYDRAULIC PLANS HAVE BEEN PLOTTED FROM PLANS AND BY FIELD INSPECTION. THESE SERVICES AND OTHERS MAY NOT BE SITUATED WITHIN REGISTERED EASEMENTS OR WITHIN STANDARD FOOTPATH ALLOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY THE LOCATIONS OF ALL SERVICES PRIOR TO CONSTRUCTION WORKS AND TO AVOID DISTURBANCE OF THESE SERVICES. THE CONTRACTOR IS ADVISED TO CONTACT THE 'DIAL BEFORE YOU DIG' SERVICE TO ASCERTAIN THE LOCATIONS OF ANY EXISTING AUTHORITY SERVICES.
2. THE HYDRAULIC SUBCONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF THEIR PROGRAMME FOR THE RELOCATION/CONSTRUCTION OF TEMPORARY SERVICES.
3. HYDRAULIC SUBCONTRACTOR SHALL ALLOW TO CONSTRUCT NECESSARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDINGS REQUIRED TO REMAIN IN OPERATION TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL ALLOW TO REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
4. INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. CONTRACTOR TO GAIN APPROVAL OF SUPERINTENDENT FOR TIME OF INTERRUPTION.

Rainwater Tank Installation requirements

- Administrative requirements**
The plumber is required to apply to Sydney Water for a permit to do the work as they would when connecting any house service plumbing.
- Sydney Water's plumbing inspector must be contacted when work is completed to carry out a final inspection of the property before the Certificate of Compliance is submitted to Sydney Water and the customer.
- Rainwater tank plumbing regulatory requirements**
All plumbing work is to be done or supervised by a licensed plumber in compliance with these guidelines and the NSW Code of Practice: Plumbing and Drainage.
- Under no circumstances is there to be direct connection between the rainwater service and the drinking water service.
- Approved materials**
Materials used in the rainwater tank plumbing must comply with AS/NZS 3500 Part 1 Water Supply Section 2 Materials and Products
- Pipes and labelling**
Pipe materials to be used for rainwater need to be approved products and be clearly and permanently identified 'RAINWATER' continuously along the length. This can be done for below ground pipes by using identification tape (made in accordance with A52648) or for above ground pipes by using adhesive pipe markers (made in accordance with A51345).
- Identification tape marked 'RAINWATER' must be at least 75mm wide. The identification tape is to be installed on top of the rainwater pipeline, running longitudinally, and fastened to the pipe at not more than 3 metre intervals.
- Every rainwater tank outlet must be labelled 'RAINWATER' on a permanent sign. An example is shown in Figure 2. A51319 provides direction as to appropriate layout, size and face materials for signs.
- Proximity to other services**
Rainwater pipes must be separated from any parallel drinking water service.
- Above ground pipes**
Any rainwater pipe installed above ground must be a minimum of 100mm away from any drinking water pipe.
- Below ground pipes**
Any rainwater pipe installed below ground must be a minimum of 300mm away from any drinking water pipe.
- Backflow prevention**
Check that all the following backflow protection is in place:
- Above ground rainwater tanks**
Sydney Water has provided a meter with one containing an integral dual check valve.

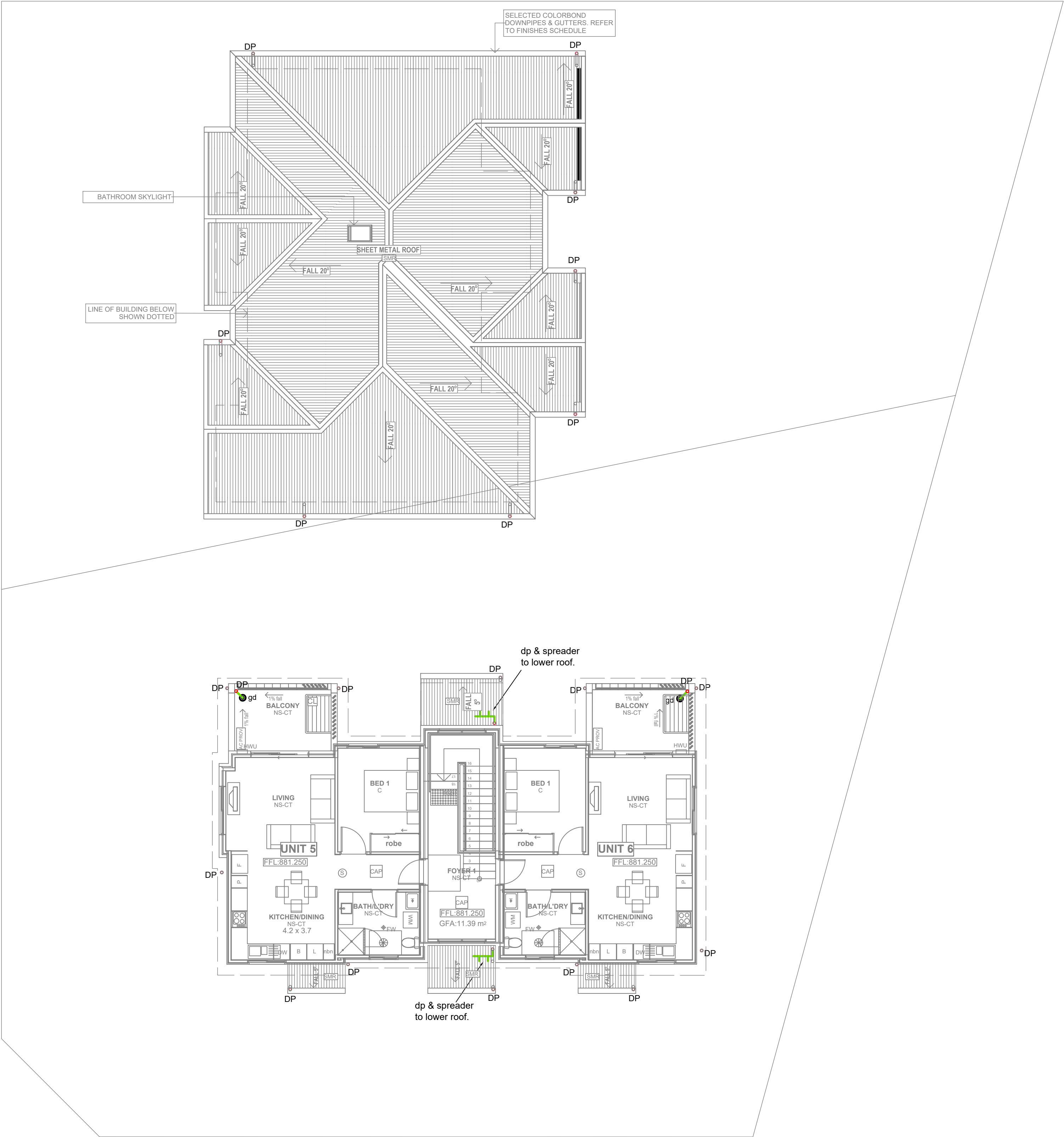
FIXTURE LEGEND

vp	— Vent Pipe	lt	— Laundry Tub
co	— Clearout	wm	— Washing Machine
aav	— Air Admittance Valve	sk	— Sink
fw	— Floor Waste	wc	— Water Closet
bsn	— Basin	co	— Clearout
ht	— Hosetap	gr	— Gas Riser
gd	— Grated Drain	st	— Stack
shr	— Shower	npw	— Non Potable Water
hwh	— Hot Water Heater	dp	— Downpipe
bf	— Bayonet Fitting	cwr	— Cold Water Riser
ct	— Cooktop		



Chlor

DETERMINED by the New South Wales Land & Housing Corporation on: 12/8/2022



NOMINATED ARCHITECT:		F	Feb.22	DA SUBMISSION ISSUE
		D	Oct.21	DA SUBMISSION ISSUE
		C	Aug.21	DA SUBMISSION ISSUE
		B	Aug.21	DA SUBMISSION ISSUE
		A	Jun.21	SKETCH ISSUE
		REV:	DATE:	NOTATION/AMENDMENT:
		DO NOT SCALE OFF DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT:	DeAngelis Taylor + Associates Pty.
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CONSULTANTS NAME	PH (02) XXXX XXXX FAX (02) XXXX XXXX

STRUCTURAL CONSULTANT	CONSULTANTS NAME
CONSULTANTS NAME	PH (02) XXXX XXXX FAX (02) XXXX XXXX
HYDRAULIC CONSULTANT	ABEL & BROWN PTY LTD
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LANDSCAPE CONSULTANT	CONSULTANTS NAME
CONSULTANTS NAME	PH (02) XXXX XXXX FAX (02) XXXX XXXX

PROJECT:
GENERAL HOUSING DEVELOPMENT
at
1 WARATAH & 50 FROST STREET,
ORANGE NSW

TITLE:
HYDRAULIC SERVICES PLAN
FIRST FLOOR / ROOF PLAN

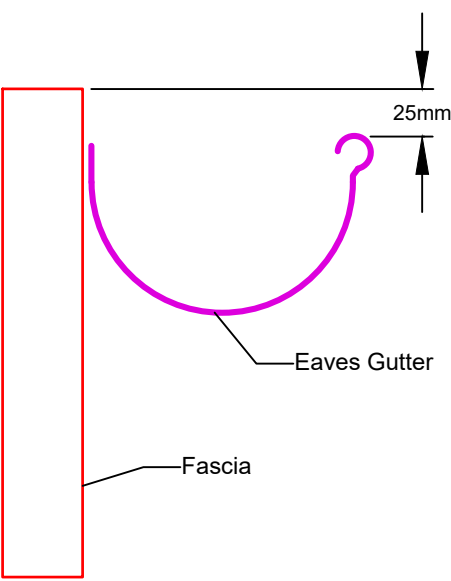
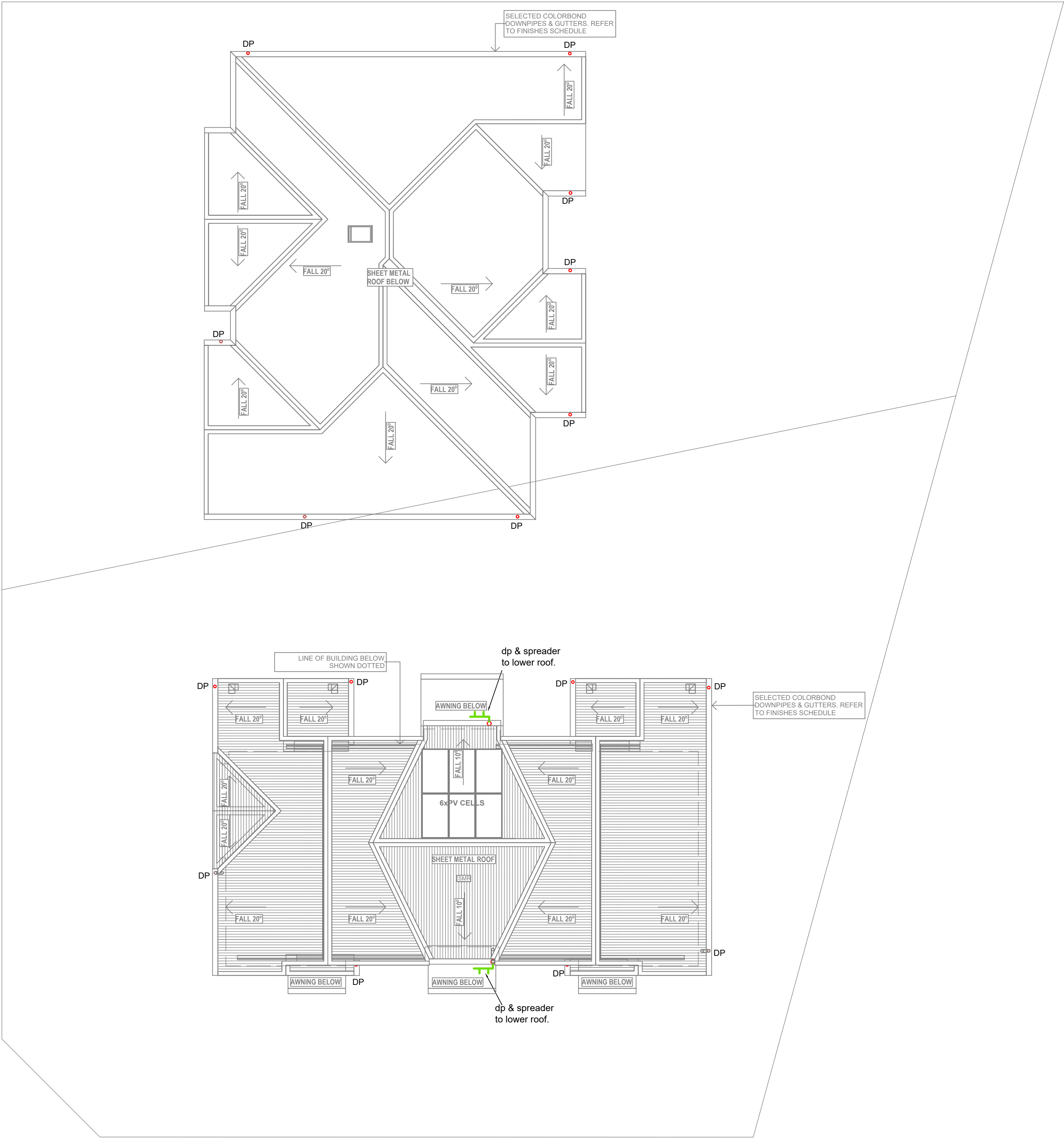
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PLOTTED:
Feb 25, 2022 - 1:51pm

STATUS: DA SUBMISSION ISSUE			
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STAGE: DA	DRAWN: NB	CHECKED: SB	APPROVED: SB
TYPE: H	SHEET: 3 OF 4	REV: F	

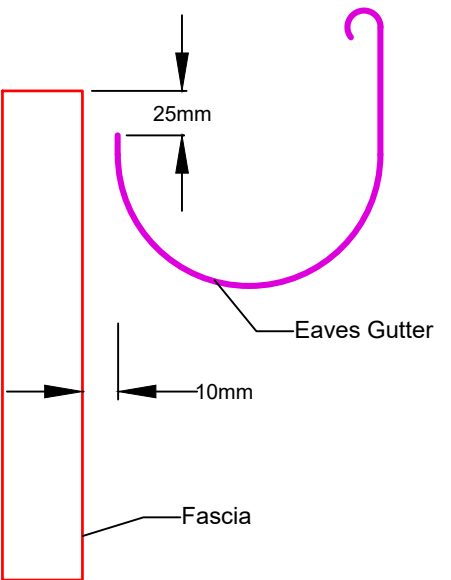
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12/8/2022

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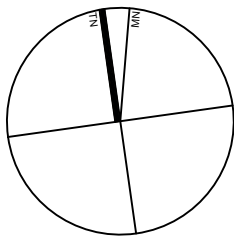


(a) Eaves Gutter with low front



(b) Eaves Gutter with high front and and min. 10mm gap to fascia.

EAVES GUTTER OVERFLOW METHODS
Scale - NTS



NOMINATED ARCHITECT:	F	Feb 22	DA SUBMISSION ISSUE
	D	Oct 21	DA SUBMISSION ISSUE
	C	Aug 21	DA SUBMISSION ISSUE
	B	Aug 21	DA SUBMISSION ISSUE
SIGNED	A	Jun 21	SKETCH ISSUE
	REV:	DATE:	NOTATION/AMENDMENT:
DATE	DO NOT SCALE OFF DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT:	DeAngelis Taylor + Associates Pty.
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STRUCTURAL CONSULTANT	
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HYDRAULIC CONSULTANT	
ABEL & BROWN PTY LTD	PH (02) 9789 5705 FAX (02) 8796 8401
LANDSCAPE CONSULTANT	
CONSULTANTS NAME	PH (02) XXXX XXXX FAX (02) XXXX XXXX

PROJECT:
GENERAL HOUSING DEVELOPMENT
at
1 WARATAH & 50 FROST STREET,
ORANGE NSW

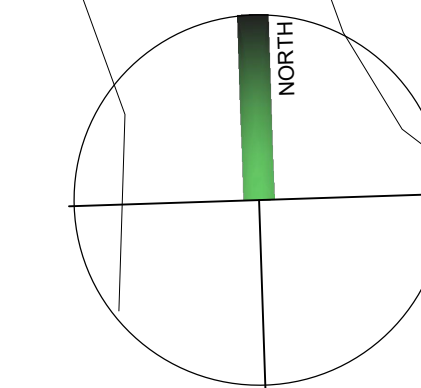
TITLE:
HYDRAULIC SERVICES
ROOF PLAN

FILE:
PLOTTED:
Feb 25, 2022 - 1:51pm

STATUS: DA SUBMISSION ISSUE			
DATE: JUN. 2021	SCALE: 1:100@A1	PROJ: BGXG4	PROJ No.: 3214
STAGE: DA	DRAWN: NB	CHECKED: SB	APPROVED: SB
TYPE: H	SHEET: 4 OF 4	REV: F	

0 5 10 20 40MM
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FROST STREET



WARATAH STREET LANDSCAPE PLAN 1 : 100



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P7	07/02/2022	UPDATED SITE PLAN
P8	17/11/2021	DA ISSUE
P5	26/10/2021	DRAFT DA FOR APPROVAL
P4	02/09/2021	REVISED DA FOR CLIENT REVIEW
P3	25/08/2021	REVISED DA DESIGN
P2	11/08/2021	DA DESIGN
P1	29/06/2021	DETAILED SKETCH ISSUE
REV	10/01/2021	NOT A FORWARDMENT

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BUSINESS PARTNER:

Planning, Industry &
Environment
Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

PROJECT:

GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH & 50 FROST STREET,
ORANGE NSW

TITLE:
LANDSCAPE PLAN

FILE: CAD File: C:\4700s.dwg

STATUS:	DEVELOPMENT ASSESSMENT
DATE:	07/02/2022
SCALE:	As shown @ A1
PROJ:	BGXG4
JOB:	2021.009
STAGE:	C
DRAWN:	HK
CHECKED:	RF
CERTIFIER:	DD
TYPE:	L
SHEET:	1 of 1
REV:	P7

DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022



LEGEND

- turf
Excavate / grade all areas to be turfed to 120mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards inlet pits, kerbs etc. and away from buildings. Ensure that no ponding will occur. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Just prior to spreading the turf, spread "Shirley's No. 17 lawn fertilizer" over the topsoil at the recommended rate. Lay "Kikuyu" turf rolls closely butted. Fill and small gaps with topsoil. Water thoroughly.
- brick garden edging
Lay a single course of paving bricks in a mortar haunch (200mm wide and 100mm deep). The edges are to be laid in even curves and straight lines as shown on the plan. Where tight curves are shown use half bricks to show a more even curve. The top of the edges to finish flush with the adjacent turf and mulch levels.
- existing trees to be removed
For additional information regarding trees to be removed refer to the Arborists report prepared by 'Redgum Horticultural 08/04/2021' Ph No: 02 8847 3586
- existing trees to be retained
For additional information regarding trees to be retained refer to the Arborists report prepared by 'Redgum Horticultural 08/04/2021' Ph No: 02 8847 3586
- stepping stones
Precast concrete stepping stones in decorative gravel mulch
- drainage swale
Refer to Engineers plan and section. Swale to be covered with 75mm depth river pebble mulch (40mm grade)
- planting areas
Ensure that the mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie: No clay). Install 75mm depth of selected mulch.

maintenance:

All landscape works are to be maintained for a period of 12 months from the date of practical completion. This includes all watering, weeding, spraying and re-mulching necessary to achieve vigorous growth. Any defects which arise during this period are to be rectified immediately. Any plants or areas of turf which fail during this period are to be replaced at no additional cost.

fencing:

For all fencing types and materials refer to the Architects plans.

PLANT SCHEDULE

Code	Latin Name (Common Name - Mature Height)	Qty	Size	Stake
Trees				
E	Elaeocarpus reticulatus (Blue berry ash - 8m)	2	35 litre	yes
F	Fraxinus griffithii (Evergreen ash - 5m)	2	35 litre	yes
M	Pyrus calleryana 'Chanticleer' (Callery Pear - 10m)	3	35 litre	yes
L	Lagerstroemia indica 'Natchez' (Crepe myrtle - 5m)	4	35 litre	yes
P	Pistachio chinensis (Chinese pistachio - 10m)	2	35 litre	yes

Shrubs

Bsf	Buxus sempervirens 'suffruticosa' (Dwarf Box - 1m)	66	5 litre	-
Bx	Buxus microphylla 'Japanica' (Box - 1m)	10	5 litre	-
Cs	Camellia sasanqua (Sasanqua - 3m)	12	15 litre	yes
Cbj	Callistemon 'Belter John' (Dwarf Bottlebrush - 1m)	29	5 litre	-
Cci	Casuarina 'Cousin it' (Prostrate casuarina - 0.3m)	59	5 litre	-
Cma	Callistemon 'Macarthur' (Bottlebrush - 1.8m)	4	5 litre	-
Cwa	Callistemon 'White Anzac' (White Bottlebrush - 1.5m)	24	5 litre	-
Gpc	Grevillea 'Peaches & Cream' (Grevillea - 1.5m)	1	5 litre	-
Gry	Grevillea 'Rhyolite' (Deua Grevillea - 1.5m)	11	5 litre	-
Gd	Gardenia augusta 'Florida' (gardenia - 1.2m)	18	5 litre	-
Hyl	Hymenosporum flavum 'Lushious' (Native frangipani - 0.5m)	14	5 litre	-
Lc	Leptospermum 'Cardwell' (Dwarf Tea Tree - 2m)	6	5 litre	-
Mbg	Malealeuca bracteata revolution green (Bracelet myrtle - 3m)	6	5 litre	-
Mt	Malealeuca thymifolia (Rock Myrtle - 1m)	26	5 litre	-
Mct	Malealeuca 'Claret Tops' (Paperbark - 1.2m)	4	5 litre	-
Ngs	Nandina 'Gulf Stream' (Nandina - 0.4m)	32	5 litre	-
Prr	Photinia 'Red Robin' (Photinia - 2.5m)	22	5 litre	-
Px	Philodendron xanadu (Dwarf philodendron - 0.5m)	50	5 litre	-
Rsm	Raphiolepis 'Snow maidens' (Indian hawthorne - 0.75m)	32	5 litre	-
Rip	Raphiolepis 'Oriental Pearl' (Dwarf Indian hawthorne - 1m)	20	5 litre	-
Sre	Syzygium australe 'Resilience' (Lilly Pilly - 3m)	33	5 litre	-
Wwj	Westringia 'Wynabbie gem' (Coastal rosemary - 2m)	15	5 litre	-

Groundcovers

Cm	Clivia miniata (Kaffir lily - 0.5m)	16	150mm pot	-
Hs	Hibbertia scandens (Guinea flower - climber)	4	150mm pot	-
Lrg	Liriope 'Evergreen Giant' (Giant liriopie - 0.5m)	73	150mm pot	-
Lt	Lomandra longifolia 'Tanika' (Fine leaf dwarf lomandra - 0.6m)	65	150mm pot	-

Ground preparation
Grassed area: turf using imported topsoil
Detail.

Not To Scale.

SINGLE STOREY
FIBRO RESIDENCE
No.3 Waratah Ave.
(Lot 7 DP 36132)

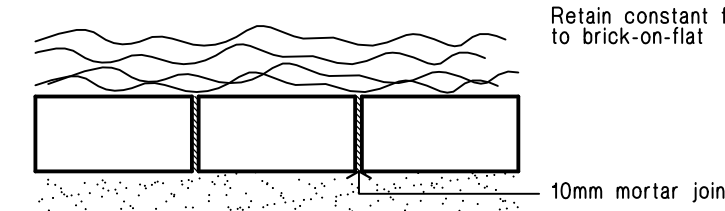
Ground preparation
Planting area using imported topsoil
Detail.

Not To Scale.

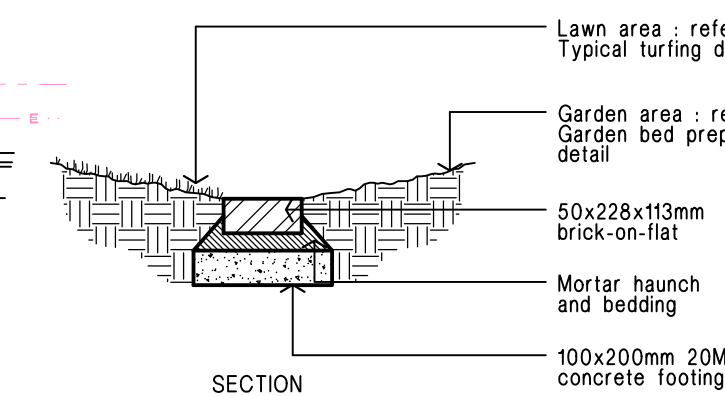
Planting in garden beds
Detail.

Not To Scale.

NOTE:
Retain constant fall to
brick-on-flat



PLAN



SECTION

Brick garden edge
Detail.

15 - 35 litre Tree planting
Detail.

Not To Scale.

GENERAL

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE OWNER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE CONTRACTOR.
- DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER-STRESSED.

STORMWATER DRAINAGE

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH AS 3500.3.
- PIPES OF 300mm DIA. AND UNDER SHALL BE UPVC TO AS 1254.
- PIPES OF 375mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 TO AS 1342, RUBBER RING JOINTED UNO.
- PIPES UP TO 150mm DIA. SHALL BE LAID AT A MINIMUM GRADE OF 1.0%. PIPES 225mm DIA. AND OVER TO BE LAID AT A MINIMUM GRADE OF 0.5%. UNO. BEDDING MATERIAL TO AS 2032 OR AS 3725 AS APPROPRIATE.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 450mm IN CARPARK & ROADWAY AREAS UNO.
- BACKFILL TRENCHES WITH APPROVED FILL, SUCH AS SANDY LOAM, COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY TO AS 1289.5.1.1.
- ANY PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS IN ACCORDANCE WITH AS 3500.3.2.
- PITS SHALL BE OF REINFORCED CONCRETE CONSTRUCTION AS DETAILED. METAL GRATES AT LEVELS INDICATED ALL PITS DEEPER THAN 1200mm TO HAVE CLIMB IRONS.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERT.
- ALL LINES TO BE 100 DIA. AT 1% MIN. GRADE (U.N.O.)
- ALL PITS TO BE BENCHMARKED TO HALF PIPE SECTION AND TO HAVE GALVANISED STEEL GRATES AND SURROUNDS.
- ALL PITS TO BE 600 SQUARE UNLESS NOTED OTHERWISE.
- PITS & DOWNPIPE LOCATIONS AND LEVELS MAY BE VARIED TO SUIT SITE CONDITIONS AFTER CONSULTING THE ENGINEER.
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- SUBSOIL LINE: PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO AS 2439 PART 1. LAY PIPES ON FLOOR OF TRENCH GRADED 1% AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL.

RAINWATER TANK NOTES

- PUMP FOR RAINWATER TANK TO BE CONNECTED TO TOILETS, LAUNDRY AND GARDEN TAP FOR IRRIGATION.
- PUMP MUST HAVE MAINS WATER BACKUP WITH AN APPROVED BACKFLOW PREVENTION DEVICE. DEVICE TO BE ACCESSIBLE FOR TESTING.
- A FIRST FLUSH DEVICE OR FILTER BAG IS TO BE INSTALLED.
- RAINWATER TANK MUST NOT BE CONNECTED TO THE MAIN DRINKING WATER SUPPLY.
- RAINWATER TANK MUST CONTAIN A BYPASS OF THE PUMP IN THE EVENT OF A POWER FAILURE.
- RAINWATER TANK MUST BE CONSTRUCTED IN ACCORDANCE WITH AUSTRALIAN STANDARD. AS/NZ 3500.12-2015: NATIONAL PLUMBING AND DRAINAGE - WATER SUPPLY- ACCEPTABLE SOLUTIONS, WHICH PROVIDES GUIDANCE ON THE DESIGN OF STORMWATER AND RAINWATER REUSE SYSTEMS.
- RAINWATER TANK MUST BE PROVIDED WITH AN AIR GAP (SEE AS/NZ 3500.12 AND AS2845.2)
- RAINWATER TANK MUST BE KEPT WELL MAINTAINED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURING REQUIREMENTS AND THE REQUIREMENTS OF SYDNEY WATER.

BEFORE EXCAVATION FOR PIPEWORK LOCATE DEPTH OF EXISTING SERVICES & CONTACT DIAL BEFORE YOU DIG

ALL EXISTING LEVELS TO BE CONFIRMED ON SITE AND ENGINEER TO BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.

DEPTH AND LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED BY BUILDER ON SITE. ENGINEER TO BE NOTIFIED.

OSD SUMMARY

SITE AREA = 1430m²
PRE-DEVELOPMENT IMPERVIOUS AREA = 20%
POST DEVELOPMENT IMPERVIOUS AREA = 59%

PRE-DEVELOPED SITE DISCHARGE

DRAINS ANALYSIS

MINOR 5YR STORM = 0.011/m³

MAJOR 100YR STORM = 0.037/m³

POST-DEVELOPED SITE DISCHARGE

DRAINS ANALYSIS

UN-RESTRICTED SITE DISCHARGE

MINOR 5YR STORM = 0.025/m³

MAJOR 100YR STORM = 0.051/m³

RESTRICTED SITE DISCHARGE

OSD MINOR 5YR STORM = 0.008/m³

MINOR 5YR STORM BYPASS = 0.003/m³

OSD MAJOR 100YR STORM = 0.024/m³

MAJOR 100YR STORM BYPASS = 0.011/m³

STORAGE REQUIRED

100YR = 15.48m³

OSD INTERNAL STORAGE PROVIDED:

= 11.2x3.2x0.5m DEEP = 17.92m³

ORIFICE SIZE

-PROVIDE LOWER LEVEL Ø95mm ORIFICE

RESTRICTION (AT INVERT OF OSD TANK RL = 877.00)

-PROVIDE UPPER LEVEL Ø130mm ORIFICE

RESTRICTION (AT RL 877.25)

NOTE:

RAINWATER TANK - TANK CAPACITY TO BE IN ACCORDANCE WITH BASIX REQUIREMENT

ROOF DRAINAGE

NOTE:

ROOF & BALCONY DRAINAGE BY OTHER CIVIL/HYDRAULIC CONSULTANTS. CONTACT PROJECT MANAGER FOR HYDRAULIC PLANS. PROJECT MANAGER TO COORDINATE DOWNPIPE LOCATIONS TO SITE DRAINAGE PLAN.

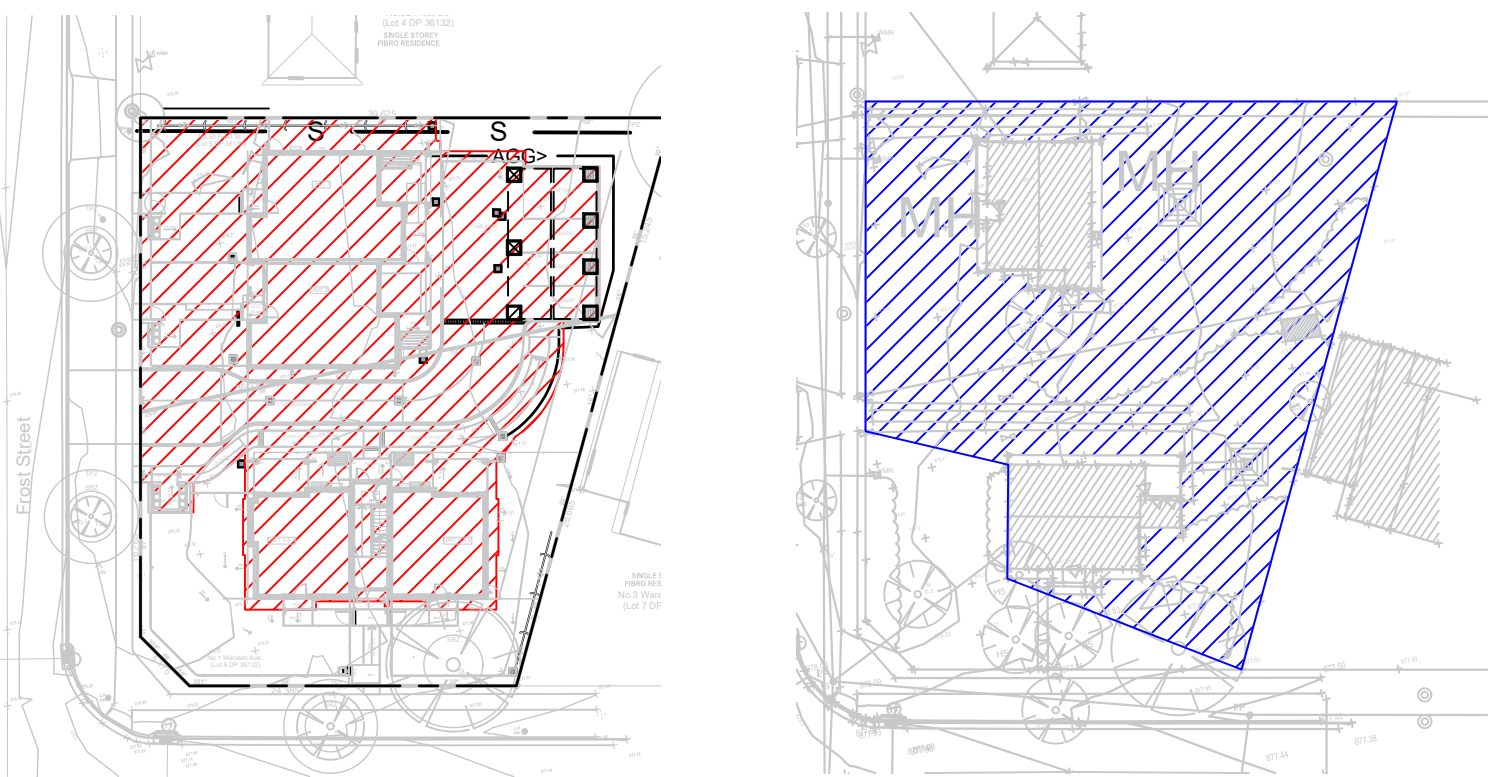
REFER TO LATEST ARCHITECTURAL PLANS FOR FINISHED PAVEMENT LEVELS.

SYMBOLS & NOTATION

---	MIN. Ø100 STORMWATER DRAINAGE LINE U.N.O.
---AGG>---	90° AG LINE CONNECT TO STORMWATER OUTLET OR VERTICAL SLOT DRAIN
RL-878.439	PROPOSED FINISHED FLOOR LEVEL
	GRADED PIT
150 TG	150 WIDE x 100 DEEP (INTERNAL DIM) (U.N.O) TRENCH GRATE @ MIN. 1.0% BASE FALL
DP	DOWNPIPE (REFER TO HYDRAULIC ENG. PLANS)
	SWALE
	OVERLAND FLOWS

PIT SCHEDULE

PIT	GRATE	SIZE	RL	IL	COMMENTS	CLASS OF GRATE AS3996.2006
P1	CLASS A	450x450	878.25	877.75	SURFACE GRATED PIT	A - 10kN PEDESTRIAN
P2	CLASS A	450x450	878.20	877.60	SURFACE GRATED PIT	B - 80kN LIGHT VEHICLES
P3	CLASS A	450x450	878.05	877.70	SURFACE GRATED PIT	C(ii) - 150kN LIGHT TRUCK
P4	CLASS C(ii)	600x600	878.14	877.64	SURFACE GRATED PIT	C(iii) - 150kN SLOW TRUCK
P5	CLASS C(ii)	600x600	878.04	877.54	SURFACE GRATED PIT	D - 210kN HIGHWAY VEHICLES
P6	CLASS A	450x450	878.35	877.85	SURFACE GRATED PIT	
P7	CLASS A	450x450	877.95	877.45	SURFACE GRATED PIT	
P8	CLASS A	450x450	878.10	877.40	SURFACE GRATED PIT	
P9	CLASS C(ii)	600x600	877.90	877.40	SURFACE GRATED PIT	
P10	CLASS A	450x450	878.30	877.90	SURFACE GRATED PIT	
P11	CLASS C(ii)	450x450	877.88	877.38	SURFACE GRATED PIT	
P12	CLASS C(ii)	450x450	877.88	877.38	SURFACE GRATED PIT	
P13	CLASS A	450x450	877.85	877.45	SURFACE GRATED PIT	
P14	CLASS A	450x450	877.85	877.35	SURFACE GRATED PIT	
P15	CLASS A	450x450	877.63	876.73	SURFACE GRATED PIT	



OSD TRIBUTARY AREA

NOT TO SCALE

DENOTES OSD TRIBUTARY AREA

PRE-DEVELOPMENT

OVERLAND FLOWS OF

SITE = 988m²

NOT TO SCALE

DENOTES PRE OVERLAND FLOW AREA

POST-DEVELOPMENT

OVERLAND FLOWS OF

SITE = 127m²

(861m² REDUCTION)

NOT TO SCALE

DENOTES POST OVERLAND FLOW AREA

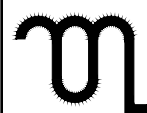
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LANDSCAPE CONSULTANT

PROJECT:
GENERAL HOUSING
at
LOTS 5 & 6 IN DP 36132
1 WARATAH & 50 FROST STREET
ORANGE NSW 2800

TITLE:
SPECIFICATIONS & SITE
DRAINAGE PLAN

FILE:

PLOTTED:
29/10/2021

STATUS: DA	SCALE: As shown @ A1	PROJ: BGXG4	JOB: 21087
DATE: 29/10/21	DRAWN: AB	CHECKED: MP	CERTIFIED: MP
TYPE: C	SHEET: 1 of 3	REV: B	

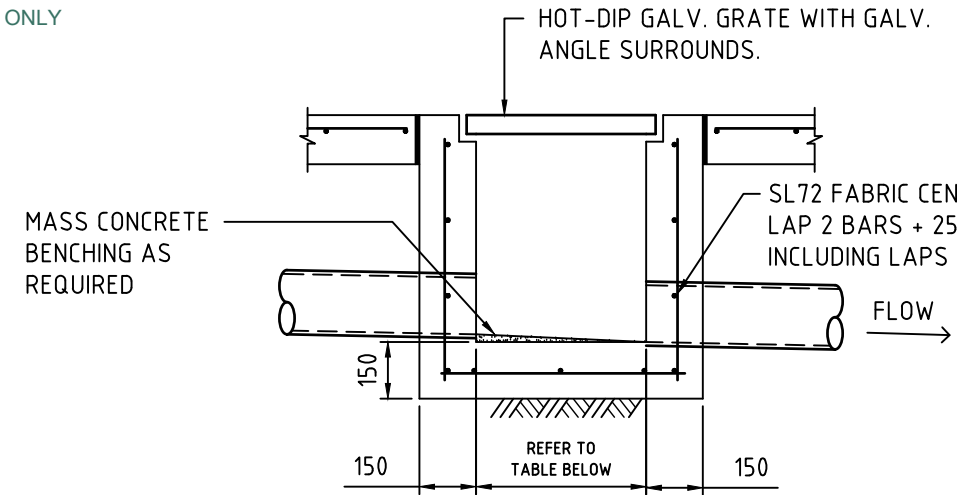
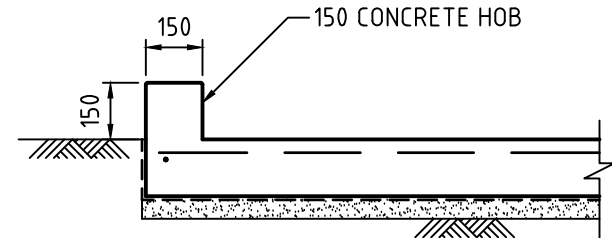


Diagram illustrating the construction details of a rectangular manhole structure, showing the grate, curb, and internal reinforcement.

Labels and Dimensions:

- HOT-DIP GALV. GRATE WITH GALV. ANGLE SURROUNDS.** (Top)
- SL72 FABRIC CENTRAL MIN. LAP 25mm INCLUDING LAPS AT CORNERS** (Right)
- MASS CONCRETE BENCHING AS REQUIRED** (Left)
- 150** (Vertical dimension on the left)
- 1500** (Horizontal dimension on the left)
- 1500** (Horizontal dimension on the right)
- REFER TO TABLE BELOW** (Bottom center)
- FLOW** (Arrow pointing right)



MILNES-GATIC SERIES 341T
OR SIMILAR FLUSH MOUNTED
FLOOR OUTLET (MIN CAPACITY=4L/S)
STAINLESS STEEL (TYPICAL)

Ø50 OUTLET
PIPE

FALL

FALL

CONCRETE
COLUMN

Ø100 OR Ø150
DOWN PIPE

MAINTAIN MINIMUM COVER
TO REINFORCEMENT & PIPE

MAX DEPTH 60mm

400

1:4

1:4

PROVIDE MIN. 1.8% FALL TO PIT OR ROAD

SWALE A DETAIL

NOT TO SCALE

NOTES :
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO
THE ENGINEERS APPROVAL

1.	Depth to Invert	Pit Internal Dimensions
	<600	450x450
	>600 <900	600x600
	>900 <1200	600x900
	>1200	900x900

2. PROVIDE STEEL IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000mm.
3. REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 2500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
4. PROVIDE $\phi 90 \times 3000$ LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTECHTILE FILTER FABRIC (BIDIM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
5. ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
6. CONCRETE STRENGTH $f'c = 32$ MPa

NOTES :
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO
THE ENGINEERS APPROVAL

1.	Depth to Invert	Pit Internal Dimensions
	<600	450x450
	>600 <900	600x600
	>900 <1200	600x900
	>1200	900x900

2. PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000mm.
3. REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS, PITS GREATER THAN 1500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
4. PROVIDE Ø90 x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (BIDIM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
5. ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS' APPROVAL.
6. CONCRETE STRENGTH $f_c = 32 \text{ MPa}$

PI
R

Ø150 u.

MAKE GOOD THE
CONNECTION WITH
SAND AND CEMENT
MORTAR

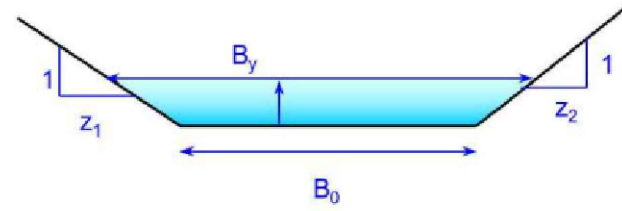
TYPICAL CONNECTION TO ROAD DRAINAGE

Input	
n	0.030
B_2	0.400 m
z_1	4.000
z_2	4.000
Q	0.022 m ³ /s
S	0.0180 m/m
y_1	0.060 m

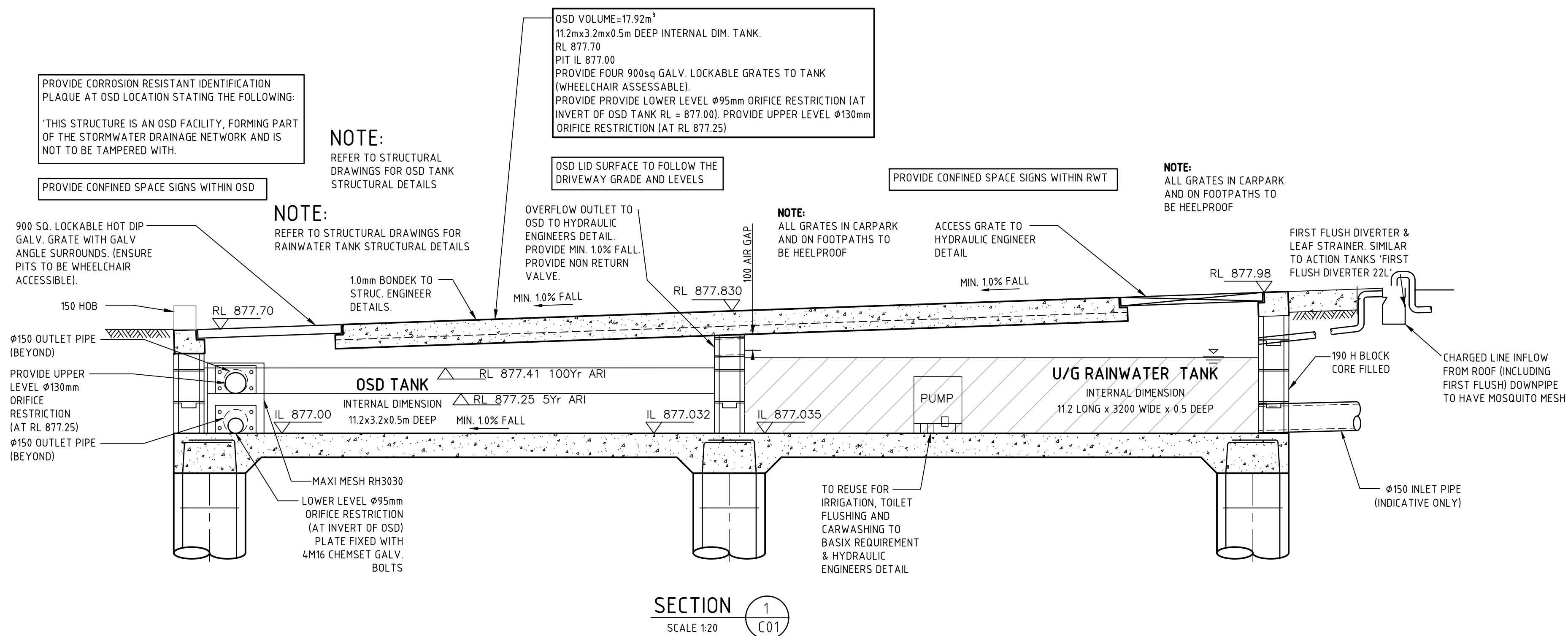
Hydraulics	
y	0.060 m
B_y	0.880 m
V	0.572 m/s
F	0.746 Subcritical

Hazard	
V^*D	0.034 m ² /s
$V+3.33D$	0.77
Hazard	Low

* For triangular cross sections set B_0 value to zero.



* For triangular cross sections set B_0 value to zero.



Heck

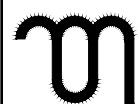
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C	17.02.2022	ISSUE FOR DA
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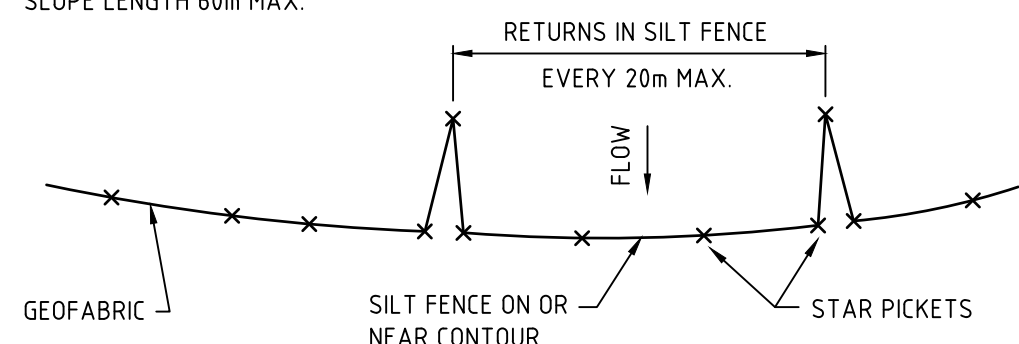
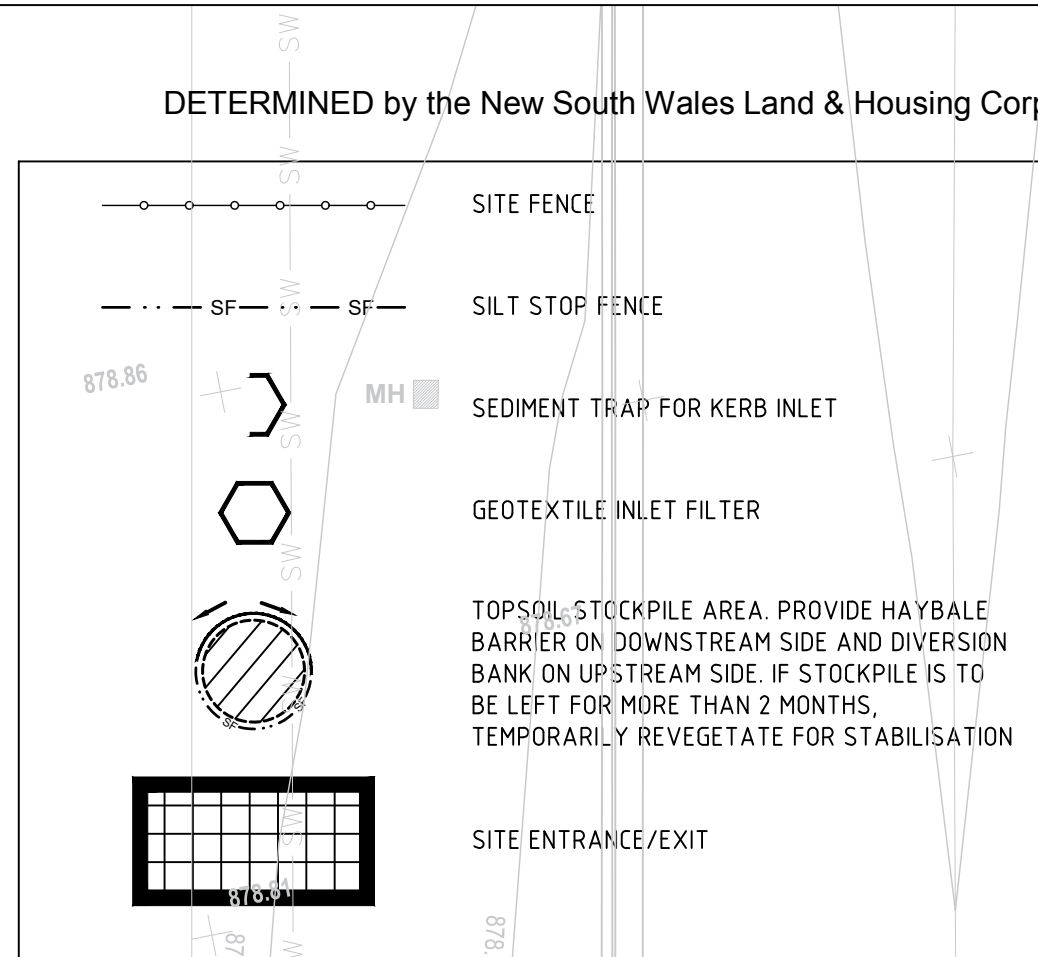
GENERAL HOUSING

at
LOTS 5 & 6 IN DP 36132
1 WARATAH & 50 FROST STREET
ORANGE NSW 2800

TITLE: STORMWATER DETAILS AND SECTIONS

FILE:	PLOTTED:
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STATUS: DA			
DATE: 17/02/22	SCALE: As shown @ A1	PROJ: BGXG4	JOB: 21087
STAGE: DA	DRAWN: AB	CHECKED: MP	CERTIFIER: MP
TYPE: C	SHEET: 2 of 3		REV: C



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SEDIMENT & EROSION CONTROL PLAN

SCALE 1:100

PROJECT:

GENERAL HOUSING

at
LOTS 5 & 6 IN DP 36132
1 WARATAH & 50 FROST STREET
ORANGE NSW 2800

TITLE: SEDIMENT & EROSION CONTROL PLAN

FILE:	PLOTTED:
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STATUS: DA			
DATE: 29/10/21	SCALE: As shown @ A1	PROJ: BGXG4	JOB: 21087
STAGE:	DRAWN: AB	CHECKED: MP	CERTIFIER: MP
TYPE: C	SHEET: 3 of 3		REV: B